



# BOARD OF COUNTY COMMISSIONERS

T. PAGE THARP GOVERNMENTAL BUILDING  
102 STARKSVILLE AVENUE NORTH, LEESBURG, GEORGIA 31763

TUESDAY, SEPTEMBER 12, 2023 AT 6:00 P.M.

T. PAGE THARP BUILDING  
OPAL CANNON AUDITORIUM  
WWW.LEE.GA.US

MEETING AGENDA  
WORK SESSION

## COUNTY COMMISSIONERS

Billy Mathis, Chairman	District 3
Luke Singletary, Vice-Chairman	District 2
Dennis Roland, Commissioner	District 1
Chris Guarnieri, Commissioner	District 4
George Walls, Commissioner	District 5

## COUNTY STAFF

Christi Dockery, County Manager  
Kaitlyn Good, County Clerk  
Jimmy Skipper, County Attorney

- |   | <u>PAGE</u> |
|---|-------------|
| 1. <b><u>INVOCATION</u></b><br>Youth Pastor Spencer Kinkade, First Baptist Church of Albany, to lead the invocation.  |             |
| 2. <b><u>PLEDGE OF ALLEGIANCE</u></b>   |             |
| 3. <b><u>CALL TO ORDER</u></b>  |             |
| 4. <b><u>APPROVAL OF MINUTES</u></b><br>(A) Consideration to approve the minutes for the Board of Commissioners meeting for August 22, 2023.  | A - C       |
| 5. <b><u>CONSENT AGENDA</u></b><br>NONE   |             |
| 6. <b><u>NEW BUSINESS</u></b><br>NONE   |             |
| 7. <b><u>PUBLIC HEARING</u></b><br>(A) A Public Hearing will be held to set the millage rate.<br><br>Consideration to adopt a resolution to set the 2023 millage rate.  | 1 - 4       |
| (B) <b>Joy and Robert Pilcher (Z23-009)</b> have submitted an application for the proposed re-zoning of an 18.856-acre property located at 120 White Column Drive for the purpose of operating an event center on their property. All that tract or parcel of land lying and being in Land Lots 228, 229, 252, and 253 of the Second Land District of Lee County, Georgia, and being all of Lot 1 of a minor subdivision of Hickory Grove Antebellum Estate, according to a map or plat of the subdivision recorded in Superior Court of Lee County, Georgia. The parcel # is 018C 157. The Current Zoning is R-1 and the Proposed Zoning is C-3. <b>Planning Commission recommended denial with a vote of 5 – 1.</b> | 5 - 31      |
| 8. <b><u>DEPARTMENTAL MATTERS</u></b><br><b><u>Parks and Recreation</u></b><br>(A) Discussion of the “Pocket Parks” revitalization project. <i>HANDOUT</i>  |             |

**Planning, Zoning and Engineering**

- (B) Consideration to approve a variance application for **Shirley Lorraine Mills (Z23-010)** requesting the replacement of a mobile home, with a new mobile home being larger than the 1,500 sq. ft. maximum allowed size for an in-law suite. The subject property is 376 Middle Rd South and has a total of 31.92 acres. This property lies within the First Land District of Lee County, Georgia. This property is currently zoned Agricultural and the parcel # is 059 021. **Planning Commission unanimously recommended approval.** 32 - 39

**Public Works**

- (C) Consideration to declare vehicles surplus. 40

**9. CONSTITUTIONAL OFFICERS & GOVERNMENTAL BOARDS/AUTHORITIES**

- (A) Consideration to appoint **one (1) member** to the **Housing Authority Board** for a term of five (5) years. Current term expired 08/31/2023. New term expires 08/31/2028. Letter of interest in appointment received from Cicily Florence. 41 - 43

- (B) Consideration to appoint **one (1) member** to the **Tax Assessors Board** to fill a current vacancy with an unexpired term of three (3) years. Current term expires 05/31/2024. Letters of interest in appointment received from Bobby Yandell and Cicily Florence. 44 - 47

**10. COUNTY MANAGER'S MATTERS**

- (A) Updates on County projects. 48 - 52

- (B) Consideration to approve a Utility Easement with the City of Leesburg for property on the State Route 3 bypass. 53 - 70

- (C) Consideration to approve proposed SPLOST VIII projects. 71 - 74

- (D) Consideration to approve a quote for the Classification and Compensation Study. 75

- (E) Consideration to authorize submission of the 2024 LMIG application. 76 - 83

- (F) Consideration to authorize staff to put out a bid for road projects. 84 - 88

**11. COMMISSIONER'S MATTERS**

NONE

**12. UNFINISHED BUSINESS**

NONE

**13. COUNTY ATTORNEY'S MATTERS**

- (A) Consideration to adopt an ordinance to amend Chapter 70, Article III, Section 70-94 of the Code of Ordinances of Lee County relating to **greenspace**, so as to establish the process to determine unbuildable land and undevelopable land. ***Planning Commission recommends approval, with the following amendment: A minimum of twenty-five percent (25%) of the remaining developable land shall be preserved as greenspace regardless of service level.*** Public Hearing held July 11, 2023 89 - 92

**14. EXECUTIVE SESSION**

NONE

**15. PUBLIC FORUM**

*Citizens will be allowed to address the Board of Commissioners regarding any issues or complaints. Individuals should sign up prior to the start of the meeting.*

16. **ANNOUNCEMENTS**

(A) The next regularly scheduled County Commission Meeting is **Tuesday, September 26, 2023 at 6:00pm.**

17. **ADJOURNMENT**

AGENDA MAY CHANGE WITHOUT NOTICE

*Lee County is a thriving vibrant community celebrated for its value of tradition encompassing a safe family oriented community, schools of excellence, and life long opportunities for prosperity and happiness without sacrificing the rural agricultural tapestry.*

Persons with special needs relating to handicapped accessibility or foreign language interpretation should contact the ADA Coordinator at (229) 759-6000 or through the Georgia Relay Service (800) 255-0056 (TDD) or (800) 355-0135 (voice). This person can be contacted at the T. Page Tharp Building in Leesburg, Georgia between the hours of 9:00 a.m. and 4:00 p.m., Monday through Friday, except holidays, and will assist citizens with special needs given proper notice of seven (7) working days. The meeting rooms and buildings are handicap accessible.



## BOARD OF COUNTY COMMISSIONERS

T. PAGE THARP GOVERNMENTAL BUILDING  
102 STARKSVILLE AVENUE NORTH, LEESBURG, GEORGIA 31763

TUESDAY, AUGUST 22, 2023 6:00 P.M.

T. PAGE THARP BUILDING  
OPAL CANNON AUDITORIUM  
WWW.LEE.GA.US

MEETING MINUTES  
VOTING SESSION

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### COUNTY COMMISSIONERS

Billy Mathis, Chairman	District 3
Luke Singletary, Vice-Chairman	District 2
Dennis Roland, Commissioner	District 1
Chris Guarnieri, Commissioner	District 4
George Walls, Commissioner	District 5

### COUNTY STAFF

Christi Dockery, County Manager  
Kaitlyn Good, County Clerk  
Jimmy Skipper, County Attorney

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The Lee County Board of Commissioners met in a voting session on Tuesday, August 22, 2023. The meeting was held in the Opal Cannon Auditorium of the Lee County T. Page Tharp Governmental Building in Leesburg, Georgia. Those present were Chairman Billy Mathis, Vice-Chairman Luke Singletary, Commissioner Dennis Roland, Commissioner Chris Guarnieri, and Commissioner George Walls. Staff in attendance was County Manager Christi Dockery and County Clerk Kaitlyn Good. County Attorney Jimmy Skipper was absent. The meeting was also streamed on Facebook Live. Chairman Mathis called the meeting to order at 6:00pm.

### INVOCATION

Associate Minister Anna Miller, First United Methodist Church of Albany, led the invocation.

### PLEDGE OF ALLEGIANCE

The Board and the audience said the Pledge of Allegiance in unison.

### CALL TO ORDER

### APPROVAL OF MINUTES

- (A) Consideration to approve the minutes for the Board of Commissioners meeting for August 8, 2023.  
Commissioner Roland made the **MOTION** to approve the minutes for the Board of Commissioners meeting for August 8, 2023. Commissioner Walls seconded the **MOTION**. The **MOTION** was unanimous with Commissioner Singletary and Commissioner Guarnieri voting yea.

### CONSENT AGENDA

NONE

### NEW BUSINESS

Chairman Mathis recognized the following employees for their years of service to Lee County:

- 5 years – Jeffrey Clements – Wastewater Operator, Utilities Authority
- 5 years – Joseph Pait – Fire & EMS
- 5 years – Nikkie Celinski – E-911 Director
- 5 years – Randy Weathersby – GIS Director
- 10 years – Shanika Henry – E-911 Communications Officer
- 20 years – Brendon Browning – Investigator, Sheriff's Office
- 25 years – Lewis Harris Jr. – Chief Deputy, Sheriff's Office

## PUBLIC HEARING

NONE

## DEPARTMENTAL MATTERS

### Building Inspection/ Business Licensing

- (A) Consideration to approve an alcohol license for consumption on premise of distilled spirits, wine, and malt beverages for Rebecca Reynolds Daniel, the new owner of Rooster's, located at 1636 Philema Road South.

Commissioner Singletary made the **MOTION** to approve an alcohol license for consumption on premise of distilled spirits, wine, and malt beverages for Rebecca Reynolds Daniel, the new owner of Rooster's, located at 1636 Philema Road South. Commissioner Guarnieri seconded the **MOTION**. The **MOTION** was unanimous with Commissioner Roland and Commissioner Walls voting yea.

## CONSTITUTIONAL OFFICERS & GOVERNMENTAL BOARDS/AUTHORITIES

- (A) Elections and Registration - Consideration to award the bid for the Elections and Registration Office Renovation Project.

Co-Assistant County Manager/ Chief Building Official Joey Davenport summarized the project and bid process stating that as the scope of the project had changed, including the additional need for carpeting, the cost proved to be higher than initially expected. The project will be completed in two phases so as to accommodate the November municipal elections.

Commissioner Guarnieri made the **MOTION** to award the Elections and Registration Office Renovation project to 3D Construction Service, Inc. for \$90,200.00 to come from the General Fund. Commissioner Roland seconded the **MOTION**. The **MOTION** was unanimous with Commissioner Singletary and Commissioner Walls voting yea.

## COUNTY MANAGER'S MATTERS

- (A) Updates on County projects.

County Manager Christi Dockery discussed ongoing project in the County: (1) Windstream, whom has made a \$21 million investment to bring broadband to Lee County, has begun staking and turning in permit applications. Co-Assistant County Manager/ Chief Building Official Joey Davenport added that the next step is to organize a large project meeting with Windstream staff. The project is aiming for a completion date of the end of 2024; however, must be complete by 2026. Chairman Mathis asked that an update be provided at every other meeting on the status of the project.

- (B) Consideration to adopt a resolution authorizing the Southwest Georgia Regional Commission to apply for rural transit 5311 funds through the Georgia Department of Transportation.

Commissioner Singletary made the **MOTION** to adopt a resolution authorizing the Southwest Georgia Regional Commission to apply for a rural transit 5311 funds through the Georgia Department of Transportation. Commissioner Guarnieri seconded the **MOTION**. The **MOTION** was unanimous with Commissioner Roland and Commissioner Walls voting yea.

- (C) Consideration to approve a proposal from Condrey and Associates, Inc. for the completion of a Classification and Compensation Study.

Chairman Mathis asked if they could be asked to provide two (2) prices, one with job descriptions and one without. Chairman Mathis suggested gathering more quotes before bringing to the Board for a decision. Staff will gather more quotes and bring the item back before the Board at a future meeting.

## COMMISSIONER'S MATTERS

- (A) Discussion of a text amendment to Chapter 70, Article XII, related to the C-2 General Business District of the Lee County Code of Ordinances.

Co-Assistant County Manager/ Chief Building Official Joey Davenport summarized the proposed text amendment pertaining to ancillary healthcare. This text amendment will need to go before the Planning

Commission.

Commissioner Singletary made the **MOTION** to send a text amendment to Chapter 70, Article XII, related to the C-2 General Business District of the Lee County Code of Ordinances to the Planning Commission for review and recommendation. Commissioner Guarnieri seconded the **MOTION**. The **MOTION** was unanimous with Commissioner Roland and Commissioner Walls voting yea.

### **UNFINISHED BUSINESS**

NONE

### **COUNTY ATTORNEY'S MATTERS**

NONE

### **EXECUTIVE SESSION**

NONE

### **PUBLIC FORUM**

*Citizens will be allowed to address the Board of Commissioners regarding any issues or complaints. Individuals should sign up prior to the start of the meeting.*

Carol Kluball – Request for consideration of the addition of a playground into the design for the 100 Acre Park

Sam Johnson – State of Old Leslie Road and a complaint against a Public Works employee

### **ANNOUNCEMENTS**

- (A) Offices of the Lee County Board of Commissioners will be **closed Monday, September 4, 2023** in observance of Labor Day.
- (B) The next regularly scheduled County Commission Meeting is **Tuesday, August 22, 2023 at 6:00pm.**

### **ADJOURNMENT**

The meeting adjourned at 6:36PM.

Facebook video link: <https://www.facebook.com/leecountyga/videos/813491143774131>

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RESOLUTION TO ESTABLISH THE  
2023 TAX LEVY

STATE OF GEORGIA

COUNTY OF LEE

Resolved and ordered by the Lee County Board of Commissioners, State of Georgia, at a legally assembled meeting on September 12, 2023 being an advertised meeting for the said Board to establish the tax rate for the 2023 year as follows:

COUNTY GOVERNMENT OPERATIONS (INCORPORATED AREA)

16.106 gross mills for the expenses of general county government operations in accordance with the FY 2023-24 budget beginning July 1, 2023 and extending to June 30, 2024.  
3.700 mills for the rollback of the 1% Local Option Sales Tax.  
12.406 net mills for the county government operations for the incorporated area.

COUNTY GOVERNMENT OPERATIONS (UNINCORPORATED AREA)

16.106 gross mills for the expenses of general county government operations in accordance with the FY 2023-24 budget beginning July 1, 2023 and extending to June 30, 2024.  
3.700 mills for the rollback of the 1% Local Option Sales Tax.  
12.406 net mills for the county government operations for the unincorporated area.

COUNTY SCHOOL OPERATIONS

17.00 gross mills for the expenses of county school operations.  
.8000 mills for the expenses of principle and interest on county-wide school bonds.  
17.80 net mills for county school operations.

TOTAL

30.21 total net mills for the incorporated area (12.406 + 17.80)  
30.21 total net mills for the unincorporated area (12.406 + 17.80)  
.00 state millage  
30.21 total mills for the incorporated area (12.406 + 17.80 + 0.000)  
30.21 total mills for the unincorporated area (12.406 + 17.80 + 0.000)

Signed and adopted by the Lee County Board of Commissioners, this 12th day of September 2023.

\_\_\_\_\_  
Billy Mathis, Chairman

The above is a true and exact copy of the 2023 tax levy as appears on record in the office of the Lee County Board of Commissioners.  
(SEAL)

\_\_\_\_\_  
Kaitlyn Good, County Clerk

Adopted: September 12, 2023

**PT-32.1 - Computation of MILLAGE RATE ROLLBACK AND PERCENTAGE INCREASE IN PROPERTY TAXES - 2023**

COUNTY: **Lee** TAXING JURISDICTION: **M&O**

ENTER VALUES AND MILLAGE RATES FOR THE APPLICABLE TAX YEARS IN YELLOW HIGHLIGHTED BOXES BELOW

DESCRIPTION	2022 DIGEST	REASSESSMENT OF EXISTING REAL PROP	OTHER CHANGES TO TAXABLE DIGEST	2023 DIGEST
REAL	1,250,786,570	11,848	23,537,415	1,274,335,833
PERSONAL			0	
MOTOR VEHICLES	15,449,550		(528,070)	14,921,480
MOBILE HOMES	4,888,411		1,026,773	5,915,184
TIMBER -100%	4,295,404		1,533,121	5,828,525
HEAVY DUTY EQUIP	10,238		45,842	56,080
GROSS DIGEST	1,275,430,173	11,848	25,615,081	1,301,057,102
EXEMPTIONS	149,353,578		(9,926,831)	139,426,747
NET DIGEST	1,126,076,595	11,848	35,541,912	1,161,630,355
	(PYD)	(RVA)	(NAG)	(CYD)
2022 MILLAGE RATE:	12.406		2023 MILLAGE RATE:	12.406

**CALCULATION OF ROLLBACK RATE**

DESCRIPTION	ABBREVIATION	AMOUNT	FORMULA
2022 Net Digest	PYD	1,126,076,595	
Net Value Added-Reassessment of Existing Real Property	RVA	11,848	
Other Net Changes to Taxable Digest	NAG	35,541,912	
2023 Net Digest	CYD	1,161,630,355	(PYD+RVA+NAG)
2022 Millage Rate	PYM	12.406	PYM
Millage Equivalent of Reassessed Value Added	ME	0.000	(RVA/CYD) * PYM
Rollback Millage Rate for 2023	<b>RR - ROLLBACK RATE</b>	<b>12.406</b>	PYM - ME

**CALCULATION OF PERCENTAGE INCREASE IN PROPERTY TAXES**

If the 2023 Proposed Millage Rate for this Taxing Jurisdiction exceeds Rollback Millage Rate computed above, this section will automatically calculate the amount of increase in property taxes that is part of the notice required in O.C.G.A. § 48-5-32.1(c) (2)	Rollback Millage Rate	12.406
	2023 Millage Rate	12.406
	<b>Percentage Tax Increase</b>	<b>0.00%</b>

**CERTIFICATIONS**

I hereby certify that the amount indicated above is an accurate accounting of the total net assessed value added by the reassessment of existing real property for the tax year for which this rollback millage rate is being computed.

-----  
 Chairman, Board of Tax Assessors Date

I hereby certify that the values shown above are an accurate representation of the digest values and exemption amounts for the applicable tax years.

-----  
 Tax Collector or Tax Commissioner Date

I hereby certify that the above is a true and correct computation of the rollback millage rate in accordance with O.C.G.A. § 48-5-32.1 for the taxing jurisdiction for tax year 2023 and that the final millage rate set by the authority of this taxing jurisdiction for tax year 2023 is \_\_\_\_\_

**CHECK THE APPROPRIATE PARAGRAPH BELOW THAT APPLIES TO THIS TAXING JURISDICTION**

If the final millage rate set by the authority of the taxing jurisdiction for tax year 2023 exceeds the rollback rate, I certify that the required advertisements, notices, and public hearings have been conducted in accordance with O.C.G.A. §§ 48-5-32 and 48-5-32.1 as evidenced by the attached copies of the published "five year history and current digest" advertisement and the "Notice of Intent to Increase Taxes" showing the times and places when and where the required public hearings were held, and a copy of the press release provided to the local media.

If the final millage rate set by the authority of the taxing jurisdiction for tax year 2023 does not exceed the rollback rate, I certify that the required "five year history and current digest" advertisement has been published in accordance with O.C.G.A. § 48-5-32 as evidenced by the attached copy of such advertised report.

-----  
 Responsible Party Title Date



## NOTICE

The Lee County Board of Commissioners does hereby announce that the millage rate will be set at a meeting to be held at the Opal Cannon Auditorium, T. Page Tharp Governmental Building, 102 Starksville Ave N Leesburg, Georgia 31763 on **September 12, 2023 at 6:00 PM** and pursuant to the requirements of O.C.G.A. Section 48-5-32 does hereby publish the following presentation of the current year's tax digest and levy, along with the history of the tax digest and levy for the past five years.

### CURRENT 2023 PROPERTY TAX DIGEST AND 5 YEAR HISTORY OF LEVY

		COUNTY WIDE	2018	2019	2020	2021	2022	2023
C o u n t y w i d e	V A L U E	Real & Personal	997,733,579	1,011,518,354	1,039,499,420	1,258,945,411	1,250,786,570	1,274,335,833
		Motor Vehicles	26,887,100	21,993,930	19,463,790	16,525,390	15,449,550	14,921,480
		Mobile Homes	5,120,866	5,001,710	4,823,728	5,025,918	4,888,411	5,915,184
		Timber - 100%	2,128,782	3,003,194	244,962	1,350,970	4,295,404	5,828,525
		Heavy Duty Equipment	245,150	140,360	48,843	42,015	10,238	56,080
		Gross Digest	1,032,115,477	1,041,657,548	1,064,080,743	1,281,889,704	1,275,430,173	1,301,057,102
		Less Exemptions	130,561,163	130,174,273	135,972,819	141,216,365	149,353,578	139,426,747
	<b>NET DIGEST VALUE</b>	901,554,314	911,483,275	930,307,924	1,140,673,339	1,126,076,595	1,161,630,355	
	R A T E	Gross Maintenance & Operation Millage	17.1130	17.1130	16.8440	15.5900	15.8160	16.1060
		Less Rollback (Local Option Sales Tax)	3.0150	3.0150	2.7460	3.1600	3.4100	3.7000
<b>NET M&amp;O MILLAGE RATE</b>		14.1030	14.0980	14.0980	12.4300	12.4060	12.4060	
T A X	<b>TOTAL M&amp;O TAXES LEVIED</b>	\$12,714,620	\$12,850,091	\$13,115,481	\$14,178,570	\$13,970,106	\$14,411,186	
	Net Tax \$ Increase	\$210,129	\$135,471	\$265,390	\$1,063,088	(\$208,463)	\$441,080	
	Net Tax % Increase	1.68%	1.07%	2.07%	8.11%	-1.47%	3.16%	

# Growth

Lee County Inflationary Growth By Tax District For Tax Year 2023

Tax District #	DESCRIP	Parcels in Tax District with Infl Growth	Inflationary Growth - 100%	Inflationary Growth - 40%	Exemption Reassessment - 40%
01	LEESBURG	75	(159,780)	(63,911)	0
02	SMITHVILLE	56	171,365	68,548	0
03	COUNTY (UNINCORPORATED)	661	18,007	7,211	0
<b>Total</b>		<b>792</b>	<b>29,592</b>	<b>11,848</b>	<b>0</b>



**LEE COUNTY**  
**Planning Department**  
**Lee County, Georgia**  
**Zoning Staff Report**

**DATE:** 8/31/2023

**APPLICATION TYPE:** Rezoning

**APPLICANT:** Joy & Robert Pilcher

**REQUESTED ACTION:** Rezoning from R-1 to C-3 and Conditional Use to allow event facility use.

**PURPOSE:** Proposed use for an event center for wedding receptions and similar gatherings.

**LOCATION OF PROPERTY:** 120 White Column Drive, Leesburg, GA, 31763, Land Lots 228, 229, 252 and 253, 2<sup>nd</sup> District.

**PARCEL SIZE:** 18.86 AC



**EXISTING CONDITIONS:**

**Present Zoning and Use of Property:** R-1 – Residential single-family home

**Adjacent Zoning/Use:**

**North—** C-2

**South—** R-1

**East—** R-1 and C-2

**West—** R-1

**Available Public Services:** Information about available public services was not included in the application.

**MEETING INFORMATION:** All meetings are held in the assembly room in the Lee County Administration Building unless otherwise advertised.

**Planning Commission (public hearing):** 09/07; 6:00pm  
**County Commission (public hearing):** 09/12; 6:00pm  
**County Commission (voting session):** 09/26; 6:00pm

**STAFF RECOMMENDATION:**

Staff recommends **conditional approval** of the zoning application to change the zoning of the subject property from R-1 to C-3 based on the following factors. Per the Lee County Comprehensive Plan, the subject parcel is designated as Residential area in the Comprehensive Plan's future land use map. This future land use category is defined as "to correspond primarily to existing neighborhoods but is also proposed for undeveloped areas adjacent to existing neighborhoods" (p. 41). All allowable uses in C-3 are not fully consistent with the policy and intent of the Comprehensive Plan that intends to support residential development in this future land use category, but some C-3 uses are more compatible. It is the Planning Department's opinion that the partial compatibility of C-3 zoning warrants conditional approval of this zoning application. Recommended conditions of rezoning include the following:

1. Considering the potential impacts on the many adjacent residences of the wide variety of permitted commercial uses in C-3, there are certain permitted uses in C-3 that are not compatible with adjacent residential neighborhoods. These C-3 permitted uses should not be allowed on the subject property: amusement parks, fairgrounds, gun clubs/outdoor shooting ranges, race tracks and drag strips, and similar uses that would create significant nuisances to adjacent residences (noise, air pollution, etc.).

Staff additionally recommends **conditional approval** of the Conditional Use for an event facility, with recommendation that a specific plan for event facility design and use be provided to demonstrate methods to limit impacts of noise and traffic.

**Rezoning Analysis:**

**USES ALLOWED IN THE PROPOSED ZONING DISTRICT THAT ARE NOT ALLOWED IN THE CURRENT ZONING DISTRICT:**

**Current Zoning:** R-1

**Proposed Zoning:** C-3 Commercial Recreation District

**Section 70-417. - Permitted Uses Allowed Under Proposed C-3 and Not Under Current Zoning:**

- (a) Archery ranges
- (b) Amusement parks
- (c) Country clubs
- (d) Campgrounds
- (e) Commercial fish ponds
- (f) Camps, day or overnight
- (g) Educational facilities such as:
  - (1) Zoos

- (2) Botanical gardens
- (h) Fairgrounds
- (i) Golf courses of all types and all accessory uses
- (j) Gun clubs, outdoor
- (k) Marinas
- (l) Reservoirs
- (m) Commercial swimming pools and tennis courts
- (n) Race tracks and drag strips
- (o) Similar uses to the above subject to all other applicable codes

**Section 70-418. – Conditional Uses**

- (a) Recreational vehicle parks (must conform to chapter 42, article V, Recreational vehicle parks).
- (b) Event facilities (must conform to chapter 22, article IV, Event centers).

**PLANNING CONSIDERATIONS:**

1. **Will the zoning proposal permit a use that is suitable in view of the use, development, and zoning of adjacent and nearby property?**  
 Development under the proposed C-3 zoning could potentially be suitable with respect to the use, development, and zoning of the adjacent property as the proposed C-3 parcel is located adjacent to C-2 parcels to the north. These parcels along US Highway 82 adjacent to the north of the subject parcel are mostly undeveloped with a few low intensity commercial uses. The adjacent parcels to the east and west are residential neighborhoods. Some uses permissible within C-3 would not be highly suitable with respect to potential impact on the adjacent residences.
2. **What is the effect on the property value of the subject property should the existing zoning be retained?**  
 The value of the subject property is anticipated to be somewhat affected if the existing zoning is retained as the proposed commercial recreation zoning would likely contribute to an increase to the property value. However, the property has value as currently zoned.
3. **If denied, will the effect on the applicant's property value under the existing zoning be offset by the gain to the health, safety, morals, or general welfare of the public?**  
 There are no expected significant gains to the health, safety, morals, or general welfare of the public under the current zoning as compared with development under C-3 zoning.
4. **Has the property been undeveloped an unusual length of time as currently zoned, considered in the context of land development in the vicinity of the property?**

The subject property is not undeveloped, it is a large residential lot.

5. **Will the zoning proposal result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, schools, police protection, fire protection, public health facilities or emergency medical services?**

The proposed zoning and potential use under C-3 zoning could result in significant increase in use of streets and other infrastructure relative to the impact of the existing property use. However future use is not likely to cause excessive or burdensome use of existing and nearby roadway infrastructure as White Columns Drive is only a short distance from the intersection of Hickory Grove Road with US Highway 82.

6. **Is the zoning proposal in conformity with the policy and intent of the future land use plan for the physical development of the area?**

Per the Comprehensive Plan, the subject parcel is included in the Residential area designation on the future land use map. This future land use area is defined as "areas intended to correspond primarily to existing neighborhoods but is also proposed for undeveloped areas adjacent to existing neighborhoods" (p. 41). The residential category details lot sizes of approximately 7,500 SF to 22,000 SF. The proposed C-3 zoning could be compatible with the policy and intent of the future land use plan, as some allowable uses are compatible with residential land use; the plan intends to have this area remain as a residential land use. The comprehensive plan states that regulations may differ according to the zoning district. Careful consideration should be given to specific uses in the C-3 district that are compatible with surrounding residential use vs. those that are incompatible with surrounding residential.

7. **Is the subject property well suited for the proposed zoning purpose?**

The subject property is suited to some allowable C-3 zoning uses and somewhat compatible with the intent of Section 70-416 which states that the commercial recreation district is intended to provide areas for the development of recreation facilities as a commercial venture. The relatively large size of the property – over 18 acres – can allow some commercial recreation uses while retaining adequate buffering from adjacent residences. Additionally, C-3 requirements include protective screening of the areas adjacent to or across the street from residential zoning districts (Sec. 70-420).

8. **Will the zoning proposal adversely affect the existing use or usability of adjacent or nearby property?**

The proposed C-3 zoning could adversely affect the existing use of adjacent or nearby property depending on the nature of the proposed mixed use development. The concept plan does not detail the proposed use for the property following the rezoning, which impedes the evaluation of potential adverse impacts on adjacent or nearby property.

**9. Does the subject property have a reasonable economic use as currently zoned?**

As currently zoned R-1, there are a number of potential uses for the subject property that would provide some economic value to the property owner. Allowable R-1 uses that are permitted for this property include single-family detached dwellings, home occupations, gardens, churches, or family personal care homes (Sec. 70-162). These uses align with the R-1 zoning and conditions of the property.

**10. Are there other existing or changing conditions affecting the use of development of the subject property which give supporting grounds for either approval or disapproval of the zoning proposal?**

There are no known existing or changing conditions that would be expected to affect the use of the subject property.

**11. Would the change create an isolated district unrelated to the surrounding districts, such as "spot zoning"?**

The zoning change would create a C-3 parcel adjacent to R-1 parcels to the east, and west, with C-2 parcels to the north. The proposed C-3 zoning would be located one block to the south of the commercial corridor along US Highway 82. Overall, the proposed zoning would not be considered commercial spot zoning due to adjacency to C-2 zoned parcels to the north.

**12. Are the present zoning district boundaries illogically drawn in relation to existing conditions in the area?**

The present zoning district boundaries are not illogically drawn based on the existing conditions, development and zoning of the area.

**13. Is the change requested out of scale with the needs of the county as a whole or the immediate neighborhood?**

The change requested is not out of scale with the needs of the immediate neighborhood in terms of C-3 zoning in general. However, no details are provided regarding a proposed mixed-use of the property and details of any associated future construction are unknown.

**14. Is it impossible to find adequate sites for the proposed use in districts permitting such use and already appropriately zoned?**

The proposed zoning is being requested in order to create a commercial recreational district and mixed-use opportunity. It may not be impossible to find sites of similar size in districts already zoned C-3 to permit the proposed uses, however there are very few existing parcels zoned C-3 in Lee County.

**15. Would there be an ecological or pollution impact resulting from the proposed zoning if it is granted?**

There is not an expected ecological or pollution impact resulting from the proposed zoning as the size of the existing property is adequate to provide for buffering and proper design of stormwater management facilities, etc. During development, all development guidelines will need to be followed to ensure no ecological or pollution impacts occur.

**Conditional Use Analysis:**

The proposed event facility use requires Conditional Use approval per Sec. 70-418 (b).

1. Per Sec. 70-89: An application to establish a conditional use shall be approved following a review by the Planning Commission and a determination by the Board of Commissioners that:
  - The proposed use shall not be contrary to the purpose of this article.
  - The proposed use shall not be detrimental to the use or development of adjacent properties or the general neighborhood nor affect adversely the health and safety of residents and workers.
  - The proposed use shall not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement, noise or fume generation or type of physical activity.
  - The proposed use shall not be affected adversely by the existing uses; and the proposed use will be placed on a lot of sufficient size to satisfy the space requirements of said use.
  - The parking and all development standards set forth for each particular use for which a permit may be granted can be met.
  - Provided, that the County Commission may impose or require such additional restrictions and standards as may be necessary to protect the health and safety of workers and residents in the community, and to protect the value and use of property in the general neighborhood; and provided that wherever the County Commission shall find, in the case of any permit granted pursuant to the provisions of these regulations that any term, conditions or restrictions upon which such permit was granted are not being complied with, said commission shall rescind and revoke such permit after giving due notice to all parties concerned and granting full opportunity for a public hearing.
  - Conditional uses shall not be transferable except upon written approval of the County Commission and shall be executed within a period of 12 months from the time the use is granted or become null and void and subject to procedures for resubmission as established above and are subject to all other applicable laws and regulations.

*These conditional use requirements are generally met with the event facility use proposal for this property. However, more details must be provided to confirm the nature of events use will not constitute a nuisance due to number of event attendees and adequacy of roads and parking to handle event traffic. Approval of conditional use*



*for an event facility is recommended to be conditioned on presentation of an event facility plan that proposes limitations on the size, nature and hours of events, and demonstrates site design methods to limit impacts of noise and traffic.*

DS

223-009



LEE COUNTY  
CITY OF LEESBURG  
CITY OF SMITHVILLE

ZONING APPLICATION

Owner: Joy & Robert Pilcher  
Address: 120 White Column Drive

Daytime Phone #: \_\_\_\_\_ Email: summer.resnick@thecanterburykitchen.

Address or location of the property: 120 White Column Drive

In order that the general health, safety and welfare of the citizens may be preserved, and substantial justice maintained, I (We) the undersigned request in connection with the property hereinafter described:

Present Zoning R1 Present Use of Property: residential

Proposed Zoning: C3 Proposed Use of Property: mixed use

229 Land Lot Number 02 Land District 18.84 # of Acres

The subject property is described as follows:

L 228, 229, 252, 253 Hickory Grove

ALSO ATTACH: (18 COPIES REQUIRED)  Plat of property, including vicinity map

\_\_\_\_\_ Legal description Containing Metes and Bounds

DISCLOSURE

\_\_\_\_\_ I (owner) have made campaign contributions having an aggregate value of \$250.00 or more, or made gifts having an aggregate value or \$250.00 or more to an official of (Lee County, City of Leesburg, City of Smithville) (circle one) within two (2) years of application.

I (owner) have NOT made campaign contributions having an aggregate value of \$250.00 or more, or made gifts having an aggregate value or \$250.00 or more to an official of (Lee County, City of Leesburg, City of Smithville) (circle one) within two (2) years of application.

I hereby certify that I am the owner and/or legal agent of the owner, in fee simple of the above-described property.

WITNESS \_\_\_\_\_

OWNER \_\_\_\_\_

DATE \_\_\_\_\_

DATE \_\_\_\_\_

Application Fee: \$2,100.00 Date Paid: \_\_\_\_\_

Received by: DS

In my absence, I authorize the person named below to act as the applicant in the pursuit of action for the application.

Applicant Name: \_\_\_\_\_

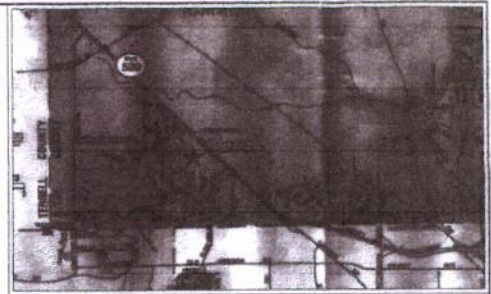
Address: \_\_\_\_\_

Phone #: \_\_\_\_\_ Email: \_\_\_\_\_

**NOTES:**

- TOTAL AREA OF SECTION XII IS 70.814 ACRES.
- THIS PROPERTY IS CURRENTLY ZONED R-1, SINGLE FAMILY RESIDENTIAL.
- THERE WILL BE A 20' UTILITY EASEMENT PARALLEL AND CONTIGUOUS TO ALL STREET RIGHTS-OF-WAY.
- ALL LOTS HAVE A FRONT SETBACK OF 40', A SIDE SETBACK OF 10' AND A REAR SETBACK OF 20'.
- ALL LOTS ARE TO BE SERVED BY LEE COUNTY WATER SYSTEM AND INDIVIDUAL SEPTIC TANKS.
- THIS PROPERTY IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN PER F.I.R.M. COMMUNITY PANEL 130122 0225B DATED MAY 15, 1991.
- OWNER / DEVELOPER:  
GEORGE MONTOSH  
HIGHLAND LAND COMPANY, INC.  
2610 DAWSON ROAD  
ALBANY, GA 31707  
229-898-2528

- THE LEE COUNTY UTILITIES AUTHORITY HAS CONTROL OVER THE SUPPLY OF POTABLE WATER AND RECEIPT OF SANITARY SEWAGE FROM ALL LANDS SUBDIVIDED AFTER JULY 27, 1995. OWNERS OF THESE SUBDIVIDED LOTS WILL BE REQUIRED TO IMMEDIATELY CONNECT TO PUBLIC WATER AND SEWAGE SYSTEMS WHENEVER EITHER BECOMES ACCESSIBLE.
- WETLANDS MAY BE PRESENT IN SOME OF THESE LOTS. WETLANDS ARE PROTECTED BY FEDERAL LAW. BEFORE DISTURBING ANY AREA DESIGNATED AS A WETLAND, CONTACT THE U.S. ARMY CORPS OF ENGINEERS, REGULATORY BRANCH, P.O. BOX 889, SAVANNAH, GEORGIA 31402-0889.
- BEFORE ANY BUILDING ACTIVITY BEGINS, THE LEE COUNTY HEALTH DEPARTMENT MUST APPROVE THE BUILDING SITE. AN INTENSIVE SOIL SURVEY WILL BE REQUIRED IN THE AREA OF CONSTRUCTION TO MAKE CERTAIN THAT SOILS PRESENT ARE SUITABLE FOR INDIVIDUAL SEWAGE DISPOSAL SYSTEMS. PROPOSED ROADS ARE TO BE CURB & GUTTER SECTION (31' BACK OF CURB TO BACK OF CURB).



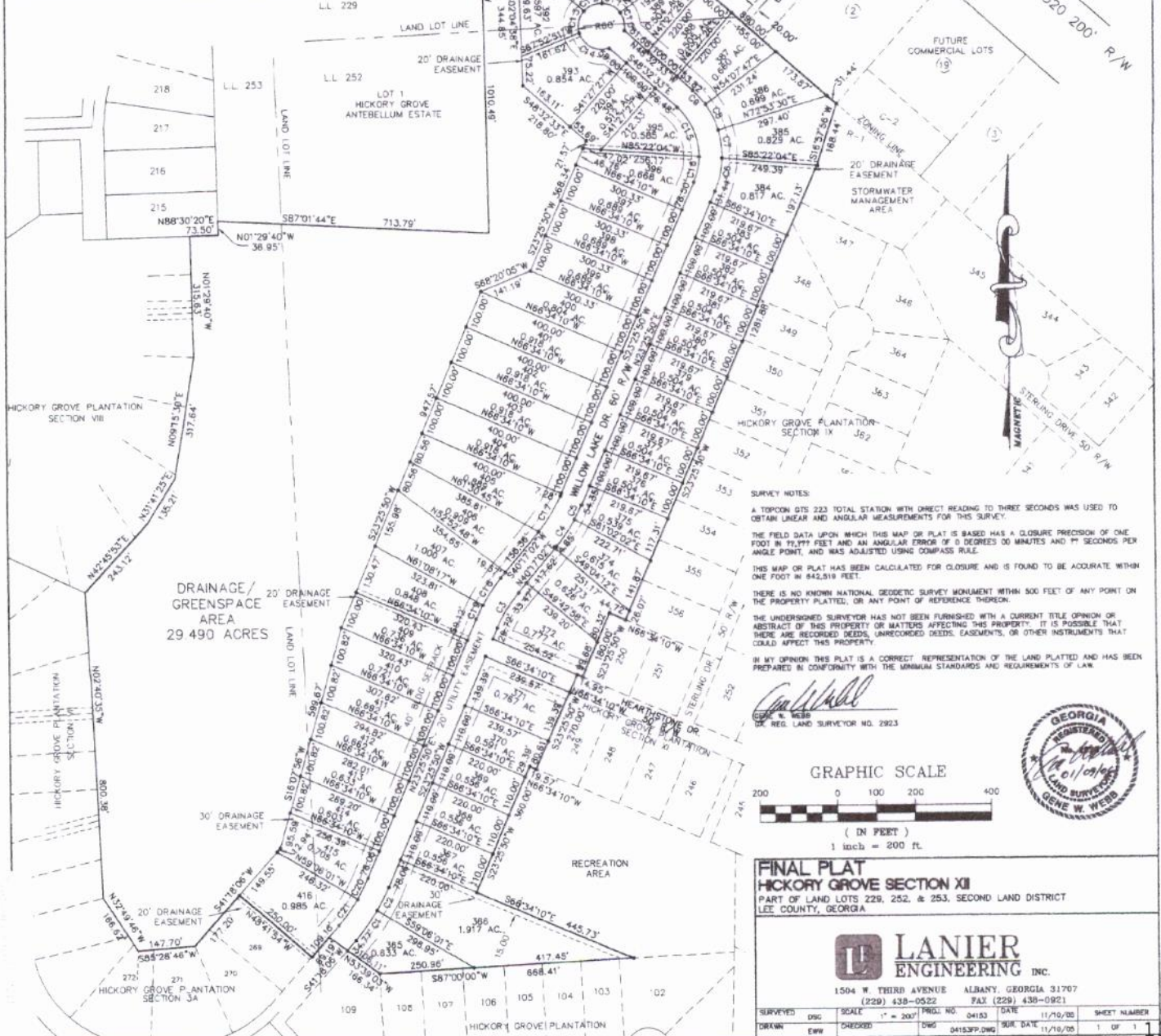
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD DIST.
C1	96.22'	530.00'	N36°06'03"E	86.08'
C2	69.09'	530.00'	N27°09'55"E	69.04'
C3	108.82'	370.00'	S31°51'28"W	108.44'
C4	84.94'	430.00'	N34°37'30"E	84.60'
C5	41.94'	430.00'	N28°11'54"E	41.57'
C6	87.42'	330.00'	N12°32'31"E	86.89'
C7	75.31'	230.00'	N07°43'39"W	74.98'
C8	75.31'	230.00'	N26°29'22"W	74.98'
C9	50.87'	230.00'	N42°12'23"W	50.77'
C10	50.15'	80.00'	N12°28'07"W	48.70'
C11	54.08'	80.00'	N62°15'22"W	52.28'
C12	52.84'	80.00'	S66°41'11"W	51.15'
C13	80.46'	80.00'	S12°35'30"W	57.93'
C14	96.62'	80.00'	S62°24'30"E	86.52'
C15	145.81'	170.00'	N23°38'16"W	141.38'
C16	87.74'	170.00'	N12°00'56"E	87.29'
C17	108.82'	370.00'	N31°51'28"E	108.44'
C18	85.72'	430.00'	S34°24'22"W	85.58'
C19	40.76'	430.00'	S26°08'49"W	40.75'
C20	81.27'	470.00'	N27°09'55"E	81.23'
C21	85.33'	470.00'	N36°06'03"E	85.21'

ALL LOTS APPROVED BY THE PLANNING COMMISSION MAY NOT BE BUILDABLE LOTS.

APPROVED  
Lee County Planning Commission  
By Camela Thompson  
Date 11/10/06

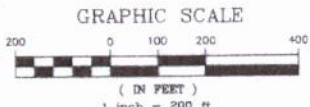
GEORGIA LEE COUNTY CLERK'S OFFICE SUPERIOR COURT  
Filed 11/14/06  
Time 1:15 PM Notarized by Shirley E. H. H.  
Recorded 11/17/06  
Shirley E. H. H.  
ANN E. HALL CLERK  
S.O.C., GA.

LOCATION MAP  
1" = 2 ± MILES  
THIS IS TO CERTIFY THAT I AM THE OWNER OR THE ADJUT FOR THE OWNER OF THE PROPERTY PLATTED HEREON.  
George W. Weis



**SURVEY NOTES:**  
A TOPCON GTS 223 TOTAL STATION WITH DIRECT READING TO THREE SECONDS WAS USED TO OBTAIN LINEAR AND ANGULAR MEASUREMENTS FOR THIS SURVEY.  
THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 77,777 FEET AND AN ANGULAR ERROR OF 0 DEGREES 00 MINUTES AND 11 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE.  
THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 84,519 FEET.  
THERE IS NO KNOWN NATIONAL GEODETIC SURVEY MONUMENT WITHIN 500 FEET OF ANY POINT ON THE PROPERTY PLATTED, OR ANY POINT OF REFERENCE THEREON.  
THE UNDERSIGNED SURVEYOR HAS NOT BEEN FURNISHED WITH A CURRENT TITLE OPINION OR ABSTRACT OF THIS PROPERTY OR MATTERS AFFECTING THIS PROPERTY. IT IS POSSIBLE THAT THERE ARE RECORDED DEEDS, UNRECORDED DEEDS, EASEMENTS, OR OTHER INSTRUMENTS THAT COULD AFFECT THIS PROPERTY.  
IN MY OPINION THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.

Gene W. Weis  
GENE W. WEIS  
DR. REG. LAND SURVEYOR NO. 2923



**FINAL PLAT**  
HICKORY GROVE SECTION XII  
PART OF LAND LOTS 229, 252, & 253, SECOND LAND DISTRICT  
LEE COUNTY, GEORGIA

**LANIER ENGINEERING INC.**  
1504 W THIRD AVENUE ALBANY, GEORGIA 31707  
(229) 438-0522 FAX (229) 438-0821

SURVEYED	DWG	SCALE	1" = 200'	PRG. NO.	04153	DATE	11/10/06	SHEET NUMBER	
DRAWN	EW	CHECKED		DWG	04153PP	SUR. DATE	11/10/06		1 OF 1

LEE COUNTY, GEORGIA  
REAL ESTATE TRANSFER TAX  
PAID \$ 0 - L3A  
DATE 8-10-04  
Sara Clark Deputy  
CLERK OF SUPERIOR COURT

FILED FOR RECORD ON  
Aug. 10, 2004  
10:00 AM 874 058  
RECORDED Aug. 10, 2004  
Sara Clark Deputy  
ANNIE LEE CLERK

**QUIT CLAIM DEED**

GEORGIA, LEE COUNTY

THIS INDENTURE, made this 21st day of July, in the year Two Thousand Four (2004), between JOY B. PILCHER of the County of Lee, and State of Georgia, as Party of the First Part, hereinafter called "Grantor" and ROBERT S. PILCHER, as Party of the Second Part, hereinafter called "Grantee" (the words "Grantor" and "Grantee" to include their respective heirs, personal representative, successors and assigns where the context requires or permits)

WITNESSETH that Grantor, for and in consideration of LOVE AND AFFECTION and other valuable considerations in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has bargained, sold and does by these presents bargain, sell, release, release and forever quit-claim to the said Grantee a one-half (1/2) undivided interest in and to the following

All that tract or parcel of land lying and being in Land Lots 228, 229, 252 and 253 of the Second Land District of Lee County, Georgia, and being 18.856 acres, and being all of Lot 1 of a Minor Subdivision of Hickory Grove Antebellum Estate, according to a map or plat of the subdivision recorded in Plat Cabinet E, Slide E-65, in the Office of the Clerk of Superior Court of Lee County, Georgia

with all rights, tenements and appurtenances to the said premises in anywise appertaining or belonging.

TO HAVE AND TO HOLD the said described premises unto the said Grantee, so that neither the said Grantor nor any other person or persons claiming under the Grantor shall at any time claim or demand any right, title or interest to the aforesaid described premises or its appurtenances.

IN WITNESS WHEREOF, the Grantee has signed and sealed this deed, the day and year above

Joy B. Pilcher (SEAL)  
JOY B. PILCHER

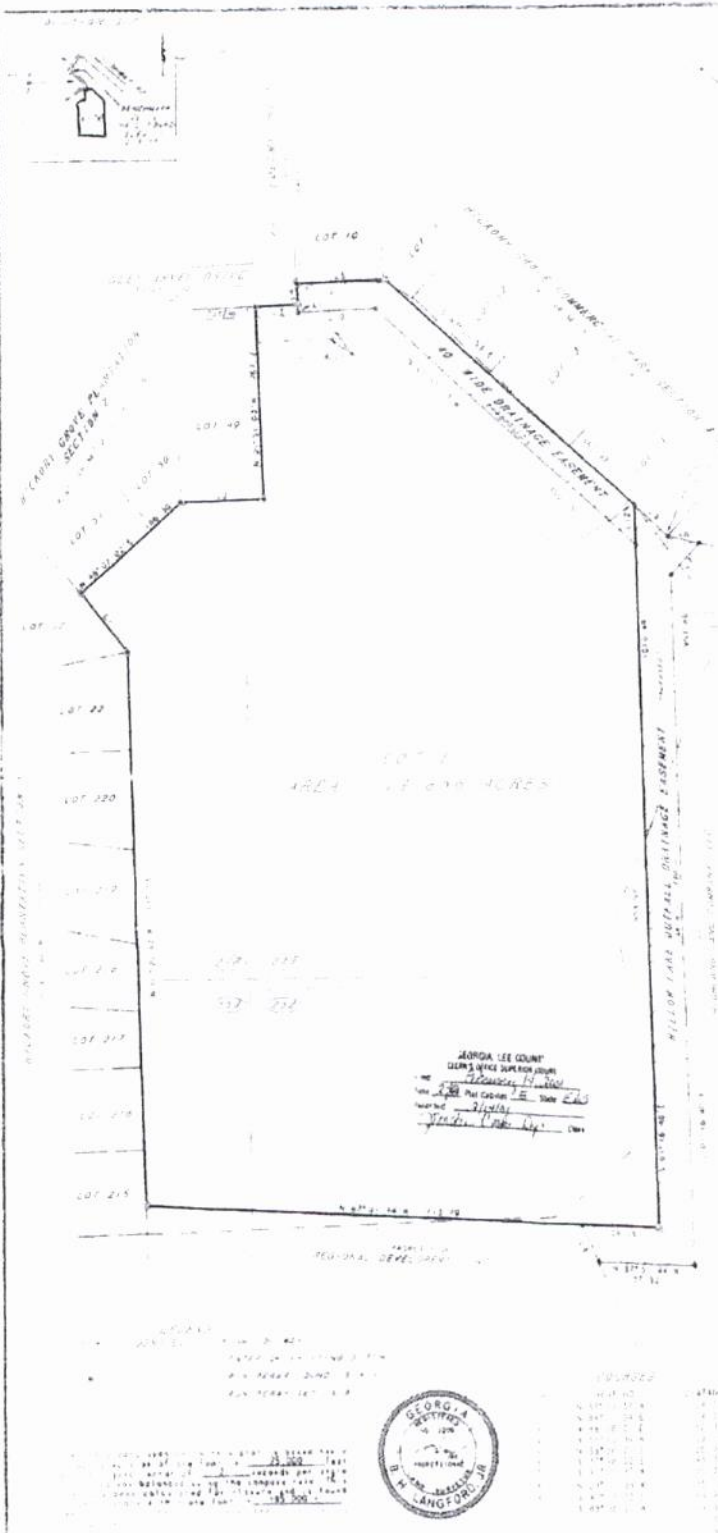
Signed, sealed and delivered,  
this 21st day of July,  
2004, in the presence of

Wanda D. Bishop  
OFFICIAL WITNESS

Dorothy W. Bishop  
NOTARY PUBLIC

My Commission Expires \_\_\_\_\_  
2005/07/09





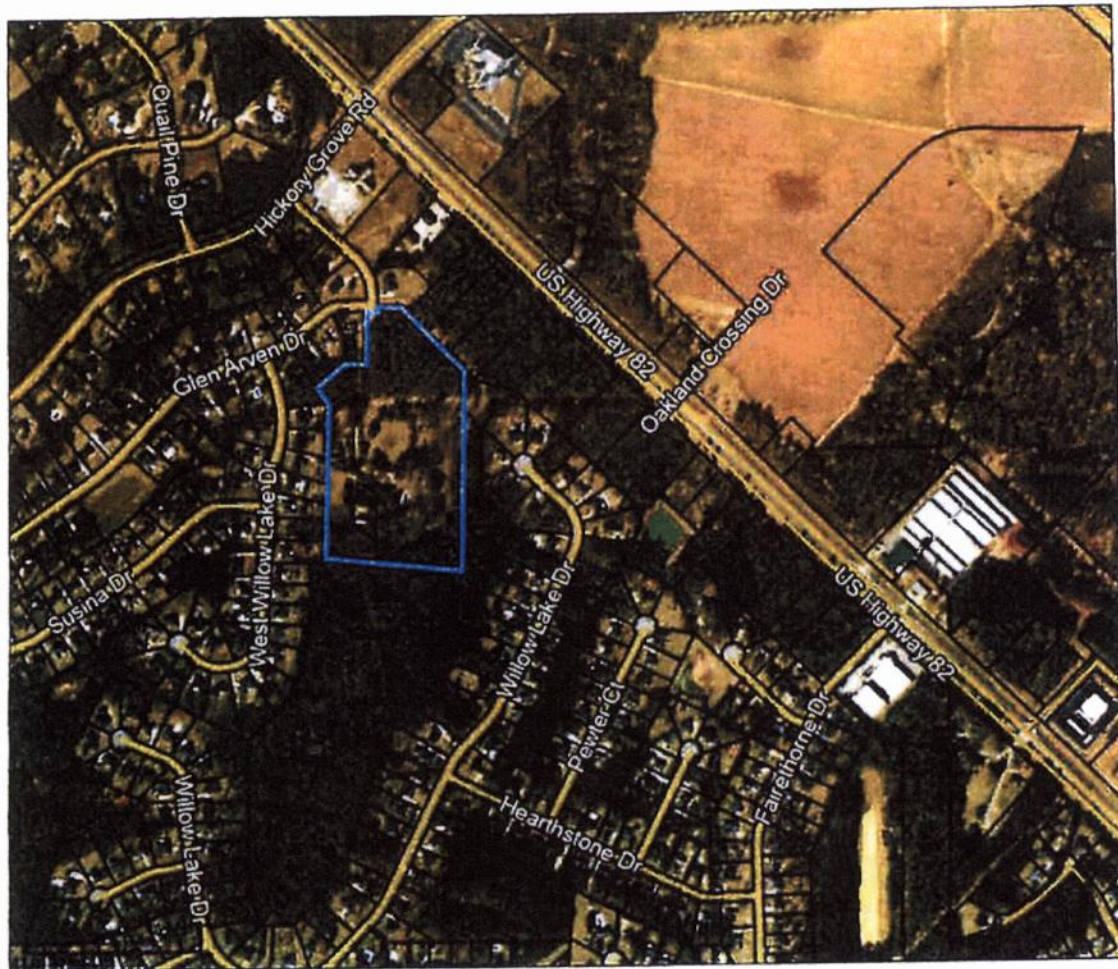
APPROVED  
 CITY OF GEORGIA  
 PAMELA CHAMPAGNE  
 2/14/01

PLANNING DEPARTMENT  
 CITY OF GEORGIA  
 100 W. POLK ST., SUITE 100  
 ATLANTA, GA 30308  
 (404) 522-2200  
 FAX (404) 522-2201  
 WWW.CITYOFGEORGIA.GOV

PLANNING DEPARTMENT  
 CITY OF GEORGIA  
 100 W. POLK ST., SUITE 100  
 ATLANTA, GA 30308  
 (404) 522-2200  
 FAX (404) 522-2201  
 WWW.CITYOFGEORGIA.GOV

LANGFORD & ASSOCIATES, INC.  
 1400 W. BERRY ST., SUITE 100  
 ATLANTA, GA 30309  
 (404) 522-2200  
 FAX (404) 522-2201  
 WWW.LANGFORD-INC.COM

**A MINOR SUBDIVISION**  
**Langford & Associates, Inc.**  
 HICKORY GROVE INTERLUM  
 ESTATE  
 LAND LOTS 226 229 232 & 233  
 2ND LAND DISTRICT  
 1ST DISTRICT, GEORGIA



Overview

**Legend**

-  #
-  Parcels
-  Roads

Parcel ID 018C 157  
 Class Code Residential  
 Taxing District COUNTY UNINCORPORATED  
 Acres 18.86

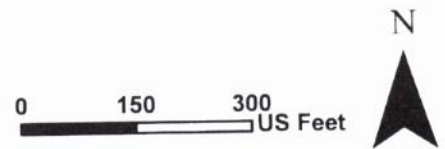
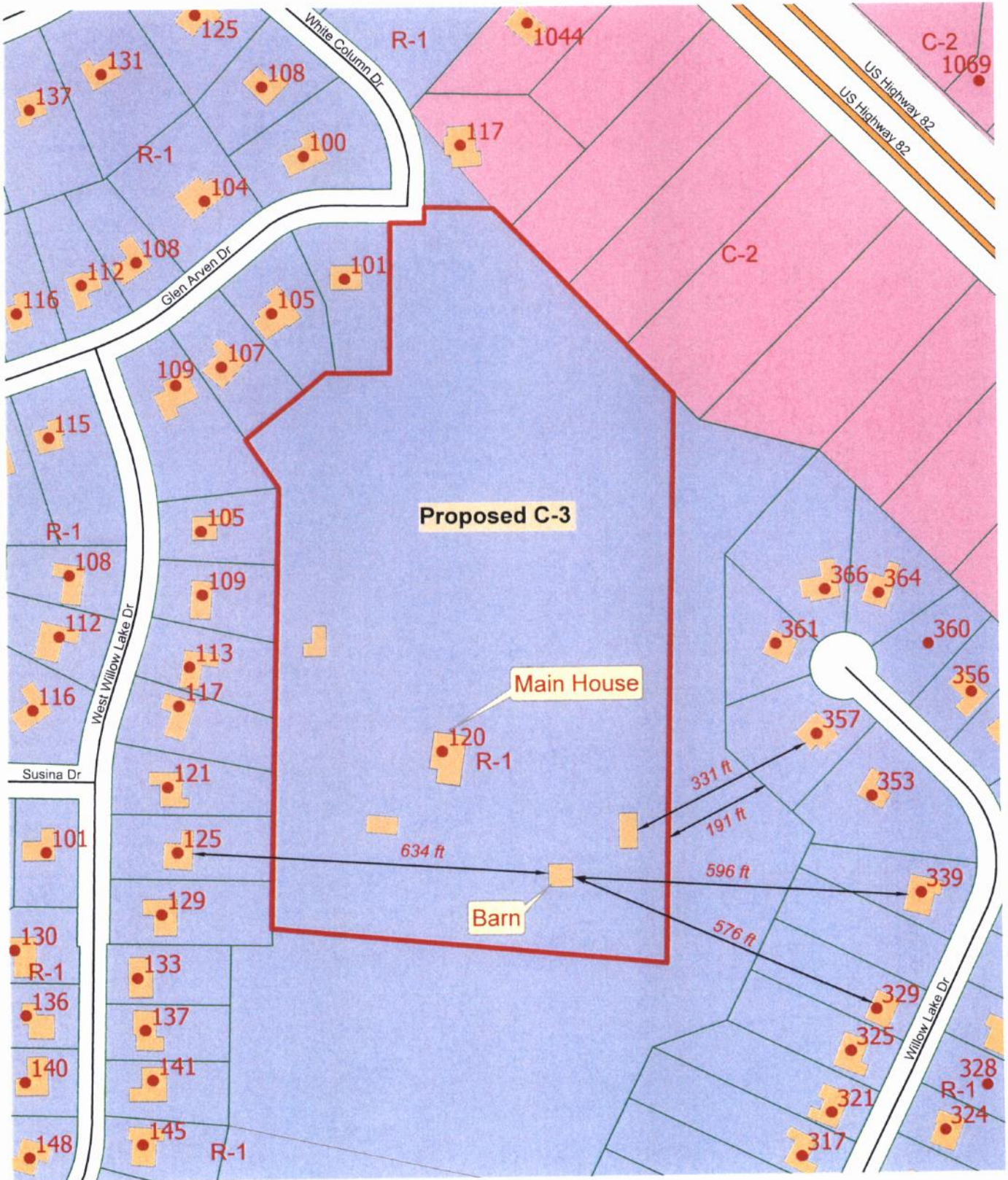
Owner PILCHER JOY B  
 120 WHITE COLUMN DRIVE  
 LEESBURG, GA 31763  
 Physical Address 120 WHITE COLUMN DRIVE  
 Assessed Value \$661900

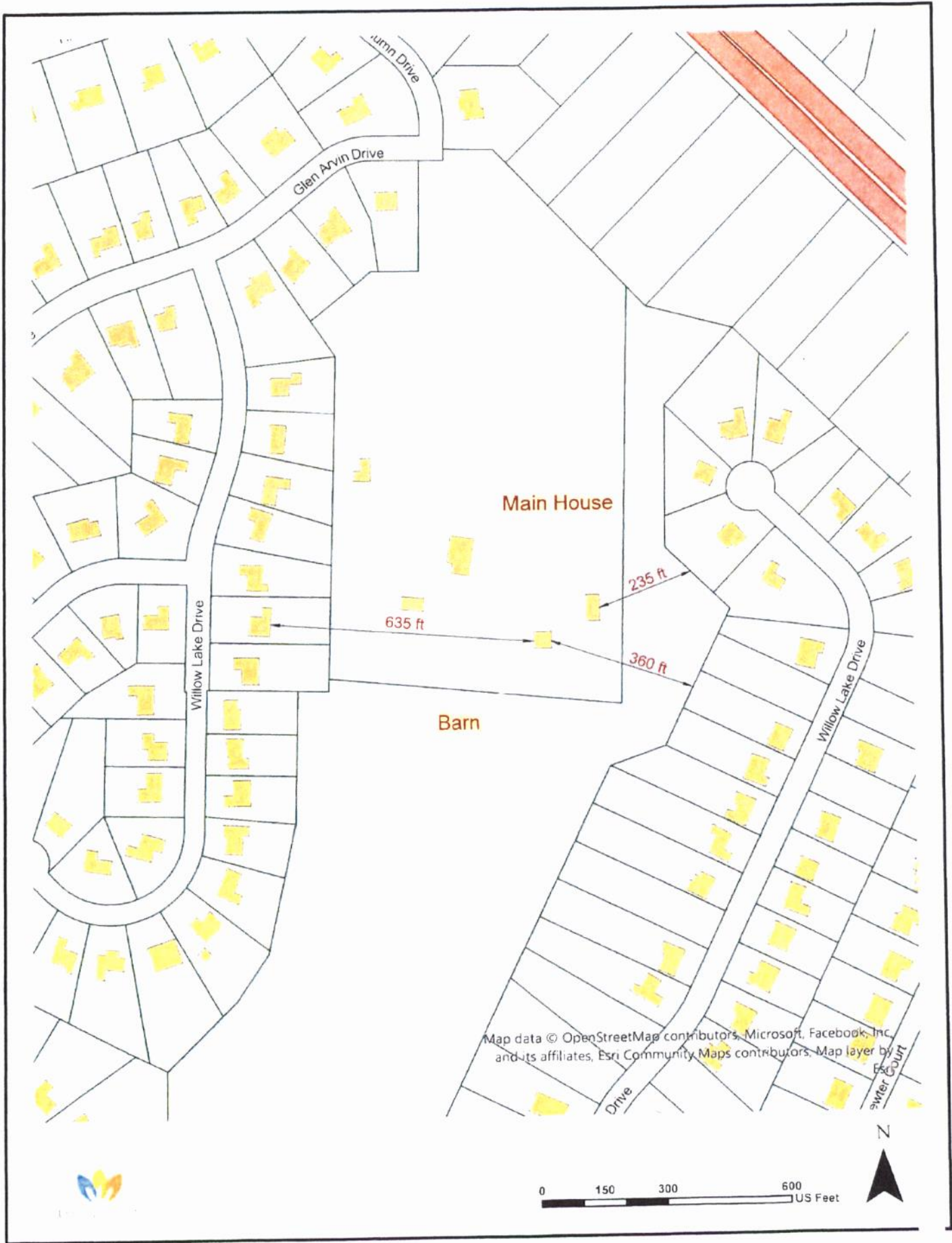
Last 2 Sales			
Date	Price	Reason	Qual
7/1/2004	0	LA	U
7/1/2004	0	LA	U

(Note: Not to be used on legal documents)

Date created: 8/12/2023  
 Last Data Uploaded: 8/11/2023 8:13:27 PM

Developed by  **Schneider**  
 GEOSPATIAL







## Planning, Zoning & Engineering

Rozanne Braswell, Director  
Sherry Shelton, Office Manager/Planning Assistant  
Jason Scott, Planner/Reviewer//Inspector  
Randy Weathersby, GIS Manager  
Corrie Wheeler, GIS Technician

Tel 229-759-6000      102 Starkville Avenue N      [www.lee.ga.us](http://www.lee.ga.us)  
Ext 2226              Leesburg, GA 31763



### NOTICE OF VIOLATION

June 3, 2021

Joy B. Pilcher, Owner of Record  
120 White Column Drive  
Leesburg, Ga 31763

RE:      120 White Column Drive, Leesburg, GA 31763  
         Initial Letter of Violation  
         **Certified Mail Receipt No.: 7018 0360 0001 1987 9808**

In response to a complaint received by Code Enforcement, your property is engaged in a wedding venue/special events business operation. The complaint is based on the number of people that attend the weddings, the frequency of occurrence, and sometimes the gatherings go on into the late hours of the night. Subject property is zoned R-1 (Single-Family Residential District), which allows for single family homes, excluding manufactured homes. Tax records indicate this property supports a primary residence which is 8,030 square feet and a secondary dwelling of 1458 square feet, sited on 18 acres.

This letter is to inform you of a notice of violation regarding the use of your property. The following violations of Chapter 70 of Lee County's zoning ordinance were noted:

**Sec. 70-161. – R-1 (Single-Family Residential District) Statement of purpose.**

This district is composed of certain areas having a single-family residential character and undeveloped land where it is desirable and likely that similar development will occur. This district will be characterized by medium density residential development. See attached permitted and conditional uses allowed in this zoning. Special events including weddings and parties are not a permitted use in the R-1 District.

As previously discussed with your daughter, Sumner Resnick, it may be possible to successfully rezone the property to (C-3 Commercial Recreation District), which could allow for special events. See attached C-3 District information and a Zoning Application. We will be happy to assist you with this process.

**Failure to bring and maintain your property in compliance within 10 days of the mailing of this letter, will result in a citation being issued to appear in the Lee County Magistrate's Court.**

Please feel free to contact me during normal business hours of 8:00 a.m. – 5:00 p.m. at (229) 759-6000, or by e-mail at [rozanne.braswell@lee.ga.us](mailto:rozanne.braswell@lee.ga.us). Thank you for your prompt attention to this matter.

Protecting the Public Health, Safety and Welfare of the  
Citizens of Lee County, Georgia

Best Regards,

*Rozanne Braswell*

Rozanne Braswell  
Director

Attachments

ec: Jim Wright, Code Enforcement/Chief Marshal  
Christi Dockery, County Manager

## **ARTICLE V. R-1 SINGLE-FAMILY RESIDENTIAL DISTRICT**

### **Sec. 70-161. Statement of purpose.**

This district is composed of certain areas having a single-family residential character and undeveloped land where it is desirable and likely that similar development will occur. This district will be characterized by medium density residential development. The specific purpose of this district is to:

- (1) Encourage the construction and continued use of the land for single-family dwellings;
- (2) Prohibit business, commercial or industrial use of the land, and to prohibit any other use which would substantially interfere with development or maintenance of single-family dwellings in the district;
- (3) Encourage the discontinuance of existing uses that would not be permitted as new uses under the provisions of these regulations;
- (4) Discourage any land use that would generate traffic on minor or local streets, other than normal traffic to serve residences on those streets;
- (5) Discourage any use which, because of its size or character would create requirements and costs for public services such as fire and police protection, water supply and sewerage substantially in excess of such requirements and costs if the district were developed solely for residential purposes.

(Ord. of 12-2-2002, § 70-161)

### **Sec. 70-162. Permitted uses.**

- (a) Single-family, detached dwellings, except for manufactured or mobile homes.
- (b) Zero lot-line housing if shown on an approved subdivision plat.
- (c) Accessory buildings or uses customarily incidental to any of the permitted uses, when located on the same lot as the primary dwelling and not involving any business, profession, trade or occupation, provided that all accessory buildings shall conform and be located as required in section 70-84 of this chapter.
- (d) Churches, provided that the proposed site for a church is not less than three acres, and a complete site development plan is submitted with the application for a building permit.
- (e) Home occupations.
- (f) Gardens.
- (g) Family personal care home (two to four residents).

(Ord. of 12-2-2002, § 70-162; Ord. of 3-27-2018 , pt. 3)

### **Sec. 70-163. Conditional uses.**

- (a) Public cemeteries, provided that a complete site development sketch is submitted with the application. The proposed site must be at least five acres and have an adequate buffer.
- (b) Nursery schools, kindergartens or day care facilities provided that all state licensing requirements are met.

- (c) Social or fraternal clubs, lodges, union halls and other similar uses.
  - (d) Bed and breakfast inn.
  - (e) Temporary emergency construction and repair residences.
  - (f) Family personal care home (five to six residents).
  - (g) Reserved.
  - (h) The keeping of horses for home use and enjoyment; provided that the lot is not less than five acres total and only three such animals shall be permitted for each 50,000 square feet of land area not to include the front or side yard of the principal dwelling and all horses shall be adequately fenced within the property and maintained 25 feet from all property lines in the rear yard.
    - (1) The keeping, breeding or training of any animals for monetary gain or profit shall be deemed a commercial business and is expressly prohibited in all residential districts except where such operations may qualify as a non-conforming use as defined in this chapter.
    - (2) No keeping of horses shall become a nuisance as defined in the county nuisance ordinance.
    - (3) No horses shall be kept on a lot in this zoning district when there is no principal dwelling on the lot.
- (Ord. of 12-2-2002, § 70-163; Ord. of 3-27-2018 , pt. 4)

**Sec. 70-164. Area, height, bulk, and placement requirements.**

**R-1**

<i>Dwelling Units Per Acre of Developable Land — R-1</i>	
Well and septic	1 per every 2 acres
Water and septic	1 per every 1 acre
Water and sewer	3 per every 1 acre
<i>Minimum Lot Width at Setback</i>	
Well and septic	150'
Water and septic	100'
Water and sewer	Staff review*
<i>Minimum Front Building Setback</i>	
Front	35'
Side and rear	10'
<i>Maximum lot coverage</i>	40%
<i>Maximum building height</i>	50'

\*Each lot shall have, at a minimum, a 30-foot wide access to a public road.

- (1) Lot length shall not be more than four times the lot width.
- (2) This height limitation shall not apply to grain elevators, silos, windmills, elevator legs, cooling towers, water towers, chimneys and smokestacks, or church spires.
- (3) With the exception of well and septic tank developments, all new roads in this district shall be curb and gutter roads as specified in chapter 38 of this Code.
- (4) All new roads in this district shall directly connect to existing, paved, public roads.
- (5) All final lot sizes shall be approved by the county health department.

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(Ord. of 12-2-2002, § 70-164)

**Secs. 70-165—70-195. Reserved.**

---

(Supp. No. 36)

Created: 2021-04-14 18:33:52 [EST]

**ARTICLE XIII. C-3 COMMERCIAL RECREATION DISTRICT<sup>1</sup>**

**Sec. 70-416. Statement of purpose.**

The commercial recreation district as established in this article is intended to provide areas for the development of recreation facilities as a commercial venture.

(Ord. of 12-2-2002, § 70-416)

**Sec. 70-417. Permitted uses.**

- (a) Archery ranges.
- (b) Amusement parks.
- (c) Country clubs.
- (d) Campgrounds.
- (e) Commercial fish ponds.
- (f) Camps, day or overnight.
- (g) Educational facilities such as:
  - (1) Zoos.
  - (2) Botanical gardens.
- (h) Fairgrounds.
- (i) Golf courses of all types and all accessory uses such as driving ranges and practice putting greens.
- (j) Gun clubs, outdoor (shooting ranges must meet all applicable federal, state and local government requirements).
- (k) Marinas.
- (l) Reservoirs.
- (m) Commercial swimming pools and tennis courts.
- (n) Race tracks and drag strips.
- (o) Similar uses to the above subject to all other applicable codes.

(Ord. of 12-2-2002, § 70-417)

Cross reference(s)—Businesses, ch. 22Cross reference(s)—.

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<sup>1</sup>Cross reference(s)—Businesses, ch. 22Cross reference(s)—.

**Sec. 70-418. Reserved.**

**Sec. 70-419. Area, height, bulk and placement requirements.**

**C-3**

<i>Minimum Lot Size</i>	
Well and septic	1.5 acres
Water and septic	.75 acres
Water and sewer	Staff review
<i>Lot Width at Setback</i>	
Well and septic	150'
Water and septic	100'
Water and sewer	Staff review*
<i>Minimum Building Setback</i>	
Front	35'
Rear	10'
Side	10'
Firewall	0'
No firewall	10'

\*Each lot shall have, at a minimum, a 30-foot-wide access to a public road.

(Ord. of 12-2-2002, § 70-419)

**Sec. 70-420. Protective screening.**

Protective screening for C-3 districts adjacent to or across the street (with the exception of major arterial or major collector roads) from residential zoning districts shall be in compliance with section 70-86 of this chapter.

(Ord. of 12-2-2002, § 70-420)



LEE COUNTY  
CITY OF LEESBURG  
CITY OF SMITHVILLE

### ZONING APPLICATION

Owner: \_\_\_\_\_

Address: \_\_\_\_\_

Daytime Phone #: \_\_\_\_\_ Email: \_\_\_\_\_

Address or location of the property: \_\_\_\_\_

In order that the general health, safety and welfare of the citizens may be preserved, and substantial justice maintained, I (We) the undersigned request in connection with the property hereinafter described:

Present Zoning \_\_\_\_\_ Present Use of Property: \_\_\_\_\_

Proposed Zoning: \_\_\_\_\_ Proposed Use of Property: \_\_\_\_\_

\_\_\_\_\_ Land Lot Number \_\_\_\_\_ Land District \_\_\_\_\_ # of Acres

The subject property is described as follows:

\_\_\_\_\_  
\_\_\_\_\_

**ALSO ATTACH: (18 COPIES REQUIRED)** \_\_\_\_\_ Plat of property, including vicinity map

\_\_\_\_\_ Legal description Containing Metes and Bounds

#### DISCLOSURE

\_\_\_\_\_ I (owner) have made campaign contributions having an aggregate value of \$250.00 or more, or made gifts having an aggregate value or \$250.00 or more to an official of (Lee County, City of Leesburg, City of Smithville) (circle one) within two (2) years of application.

\_\_\_\_\_ I (owner) have NOT made campaign contributions having an aggregate value of \$250.00 or more, or made gifts having an aggregate value or \$250.00 or more to an official of (Lee County, City of Leesburg, City of Smithville) (circle one) within two (2) years of application.

I hereby certify that I am the owner and/or legal agent of the owner, in fee simple of the above-described property.

WITNESS \_\_\_\_\_ OWNER \_\_\_\_\_

DATE \_\_\_\_\_ DATE \_\_\_\_\_

Application Fee: \_\_\_\_\_ Date Paid: \_\_\_\_\_ Received by: \_\_\_\_\_

In my absence, I authorize the person named below to act as the applicant in the pursuit of action for the application.

Applicant Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone #: \_\_\_\_\_ Email: \_\_\_\_\_



**Lee County Planning & Engineering Department  
Permit Fee Schedule  
Effective January 1, 2019**

**SUBDIVISION**

**GENERAL DEVELOPMENT PLAN**.....No Fee

**RESIDENTIAL Zoning District Subdivision fee per subdivided lot**

**Minor (1 – 3 lots):**

Zoning District: R-1, R-1L..... \$127.50

Zoning District: R-2, R-3, R-3L..... \$150.00

**Preliminary/Major/Final (4 or more lots):**

Zoning District: R-1, R-1L..... \$172.50

Zoning District: R-2, R-3, R-3L..... \$195.00

(½ of total fees paid at preliminary subdivision submittal; remainder paid at final subdivision submittal)

**COMMERCIAL Zoning District Subdivision fee per subdivided lot**

Zoning District: C-1, C-2, C-3, C-4..... \$270.00

**INDUSTRIAL Zoning District Subdivision fee per subdivided lot**

Zoning District I-1, I-2..... \$270.00

**AGRICULTURAL Zoning District Subdivision fee per subdivided lot**

Zoning District AG, AG-1..... \$90.00

**Zoning Certification Letter** .....\$50.00

<b>REZONING APPLICATION FEE based on total acreage to be rezoned</b>						
Acres to be rezoned	0 - 5	5.01 - 10	10.01 - 20	20.01 - 50	50.01 - 100	100.01 or more
R-1 R-3, R-4, AG	\$450	\$675	\$1,200	\$1,500	\$2,250	\$2,625
R-2	\$750	\$1,200	\$1,800	\$2,250	\$3,000	\$3,375
C-1, C-2, C-3, C-4, I-1, I-2	\$900	\$1,500	\$2,100	\$3,000	\$4,500	\$5,250

**MISCELLANEOUS APPLICATION FEES**

Cell Tower Co-Location.....\$200.00

Cell Tower.....\$500.00

Conditional Use Permit.....\$375.00

Subdivision Name Change.....\$187.50

Variance to any Ordinance.....\$150.00/Residential

\$300.00/Commercial

(Zoning, Conditional Use and Variance Applications are due the 10<sup>th</sup> of each month, or next business day)

Sign permit fee: \$ 0.50 per square foot of each face or minimum fee of \$50.00, whichever is greater.

Banner permit fee: \$30 per 14 day period/up to 6 times per calendar year

Work Prior to Permit Issued: TRIPLE permit fee plus court costs and/or fines

**PRINTING/LAMINATING FEES**

8 ½ X 11; Black & White - \$.25 per page, Color - \$. 50 per page

8 ½ X 14; Black & White - \$.25 per page, Color - \$. 75 per page

11 X 17; Black & White - \$.35 per page, Color - \$1.00 per page

GIS Maps: 8 ½ x 11 & 11 X 17, 1<sup>st</sup> two copies free, add'l copies \$2.00 each,

17 X 22 \$5.00; 22 X 34 - \$10.00; 34 X 44 - \$20.00

Maps created from the plotter costs \$20/hour for labor and \$10 for each additional print

Laminating: 8 ½ x 11 \$2.00; 11 x 17 \$3.00

**LAND DEVELOPMENT APPLICATION FEES**

Major Subdivision Base Fee..... \$225.00      Additional Per Lot Fee.....\$ 75.00

Minor & Existing Subdivision Base Fee.. \$450.00      Additional Per Lot Fee.....\$105.00

NOI/EPD Fee.....\$80 per disturbed acre

**(\$40 per disturbed acre payable to Lee County; \$40 per disturbed acre payable to EPD)**

Permits for the City of Leesburg and the City of Smithville are issued by the  
Lee County Planning & Engineering Department by means of intergovernmental agreement.

DIVISION 1. - GENERALLY

Sec. 34-76. - Authority.

This article is adopted pursuant to the authority delegated to the board of commissioners under Ga. Const. art. IX, § 2, ¶ 3 and other applicable laws, statutes, ordinances and regulations of the state.

(Ord. of 4-23-1997, art. I, § 102)

Sec. 34-77. - Purpose and intent.

The board of commissioners, finding that excessive levels of sound are a nuisance and are disturbing to the physical, mental and social well-being of the citizens of the county as well as to their comfort, living conditions, general welfare and safety, declares to be the policy of the board of commissioners to prohibit such excessive sounds generated from or by all sources as specified in this article.

(Ord. of 4-23-1997, art. I, § 103)

Sec. 34-78. - Jurisdiction.

(a) The provisions in this article shall be applicable in the unincorporated area of the county. This article shall govern any unnecessary or excessive sounds within the county's jurisdiction, except as preempted by state or federal law.

(b) Any person within the limits of the unincorporated area of the county shall conform to the minimum requirements set forth in this article.

(Ord. of 4-23-1997, art. I, § 104)

Sec. 34-79. - Administration, interpretations.

(a) It is the responsibility of the county manager or his designee to administer the provisions of this article to abate any excessive sound existing in the county, whether or not such excessive sound is specifically recognized by this article.

(b) The board of commissioners, upon written request, shall provide interpretations concerning provisions of this article that are unclear or in dispute.

(Ord. of 4-23-1997, art. I, § 105; Ord. of 5-28-2013)

**Cross reference—** Administration, ch. 2.

Sec. 34-80. - Enforcement and penalties.

(a) It shall be the duty of the county manager or his designee to enforce this article and to bring to the attention of the sheriff any violations or lack of compliance with this article. Citations for violations of this article shall be issued by the sheriff or his lawful deputies, and such citations shall be tried in the magistrate court under the rules of practice and procedure in that court.

(b) Violations of the provisions of this article shall be deemed a misdemeanor, punishable as provided by law with each day such violations continue constituting a separate offense. Any person who fails to comply with or violates this article shall be subject to a fine of not more than \$1,000.00 for each offense and in addition shall pay all costs and expenses involved in the prosecution of the violation. Appropriate actions and proceedings may be taken by law or in equity to prevent any violations of this article, and these remedies shall be in addition to such penalties.

(c) Nothing in this article shall prohibit the abatement of any loud and unnecessary noise as a nuisance under state law or local ordinance.

(Ord. of 4-23-1997, art. I, § 106; Ord. of 5-28-2013)

Sec. 34-81. - Conflict with other laws.

If this article is found to be in conflict with any other applicable law, ordinance, resolution, rule or regulation of any kind, the regulations that impose higher standards or requirements shall govern.

(Ord. of 4-23-1997, art. I, § 107)

Sec. 34-82. - Amendments.

When necessary to further its purposes, this article shall be amended by the board of commissioners.

(Ord. of 4-23-1997, art. I, § 108)

Sec. 34-83. - Definitions.

The following words, terms and phrases, when used in this article, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

*Ambient noise level* means the all-encompassing noise level associated with a given environment, being a composite of sounds from all sources, excluding the alleged excessive sound, at the location and approximate time at which the alleged offensive noise is to be made.

*A-weighted sound level* means the sound pressure level in decibels as measured on a sound level meter using the A-weighted network. The level so read is designated dBA.

*Building* means any structure having a roof, supported by columns or by walls and intended for shelter, housing or enclosure of any person, animal or goods. Where roofed structures are separated from each other by party walls having no opening for passage, each portion so separated shall be considered a building.

*Construction* means any site preparation, assembly, erection, substantial repair, alteration, demolition or similar action.

*Continuous sound* means a sound the intensity of which remains essentially constant during a given period of time. Continuous sound shall be measured by the slow response setting of a sound level meter.

*Cumulative period* means an accumulative period of time composed of individual time segments, which may be continuous or impulsive.

*Decibel (dB)* means a unit of sound intensity. The faintest audible sound is arbitrarily assigned a value of 0 dB, and the loudest sounds that the human ear can tolerate are about 120 dB. The difference in decibels between any two sounds is equal to  $10 \log_{10}(P_1/P_2)$ , where  $P_1$  and  $P_2$  are the two power levels.

*Daytime* means the local time of day between 6:00 a.m. and 9:00 p.m. on weekdays and between the hours of 8:00 a.m. and 11:00 p.m. on Saturdays, Sundays and local legal holidays.

*Emergency* means any occurrence or set of circumstances involving actual or imminent physical trauma or property damage that demands immediate action.

*Emergency machinery, vehicle, work or alarm* means any machinery, vehicle, work or alarm used, employed, performed or operated in an effort to protect, provide or restore safe conditions in the community or for its citizenry, or work by private or public utilities when restoring utility service.

*Emergency signal device* means any audible warning device, such as a whistle, siren or any air horn or any similar device.

*Frequency* means the number of complete cycles of a periodic process occurring per unit of time.

*Hertz* means a unit of frequency equal to one cycle per second.

*Impulsive sound* means a sound of short duration, usually less than one second, with an abrupt onset and rapid decay. Examples of sources of impulsive sound include explosions and the discharge of firearms.

*Intruding noise level* means the total sound level, in decibels, created, caused, maintained or originating from an alleged offensive source at a specified location while the alleged offensive source is in operation.

*Lot* means a parcel of land occupied or intended to be occupied by a principal building or use and any accessory building and uses customarily incident to it, and including open spaces not less in extent than those required in connection therewith by the subdivision, zoning, land development or other county regulations pertaining to land development.

*Lot lines* means the property lines bounding the lot.

- (1) *Front lot line* means, in the case of a lot abutting upon a public street, the line separating such lot from such street right-of-way.
- (2) *Rear lot line* ordinarily means that lot line opposite and most distant from the front lot line of the lot. In the case of an irregularly shaped lot, the county planner shall designate the rear lot line.
- (3) *Side lot line* means any lot line that is not a front or rear lot line.

*Mobile source* means any moving sound source on a public right-of-way or on property used by or open to use by the public.

*Nighttime* means those hours excluded from the definition of "daytime."

*Noise* means sound or a sound that is loud, unpleasant, unexpected, or undesired and affects or tends to affect the mental well-being of humans.

*Noise disturbance* means any sound that:

- (1) Endangers or injures the safety or health of humans or animals;
- (2) Annoys or disturbs a reasonable person of normal sensitivities;
- (3) Endangers or injures personal or real property; or
- (4) Exceeds the applicable maximum permissible sound levels as they appear in the table in [section 34-107](#).

*Right-of-way* means a strip of land owned and used by the general public, railroads or utility companies for transportation or other special use. For land platting purposes, every right-of-way established and shown on an approved final plat is to be separate and distinct from adjoining lots or parcels and not included within the dimensions or areas of such lots or parcels. Rights-of-way intended for transportation and utilities shall be dedicated to public use by the maker of the plat on which such right-of-way is established.

*Sound* means a vibratory disturbance (including an oscillation) in the pressure and/or density of a liquid or gas in the particular displacement of a solid or liquid. Such disturbance takes place at a rate between approximately 20 and 20,000 hertz and the physiological perception of such a vibration of displacement.

*Sound amplifying equipment* means any machine or device for the amplification of the human voice, music or any other sound. Sound amplifying equipment shall not be construed as including a standard automobile radio when used and heard only by occupants of the vehicle in which installed or warning devices on authorized emergency vehicles or horns or other warning devices on other vehicles used only for traffic safety purposes.

*Sound level* means that which is measured with the "A" weighting network on a sound level meter unless otherwise specified.

*Sound level meter* means the instrument, meeting the requirements of ANSI S1.4-1971 type II rating, used for making sound level measurements.

*Sound pressure* means the instantaneous difference between the actual pressure and the average or barometric pressure at a given point in space, as produced by sound energy.

*Sound pressure level* means the intensity in decibels of a sound.

*Stationary source* means any sound source operating or occurring on any public or private property, not including a public right-of-way.

*Vibration* means any movement of earth, ground or other similar surface created by a temporal and spatial oscillation of displacement, velocity or acceleration in any mechanical device or equipment located upon, attached, affixed or in conjunction with that surface.

*Weekday* means any Monday through Friday that is not a legal holiday.

*Zoning district* means the scheme of land use classification contained in chapter 70.

(Ord. of 4-23-1997, art. II, § 202)

Cross reference— Definitions generally, § 1-2.

Secs. 34-84—34-105. - Reserved.

DIVISION 2. - REQUIREMENTS

Sec. 34-106. - Loud and unnecessary noises prohibited.

It shall be unlawful for any person to make, assist in making, permit, continue, cause to be made or continued or permit the continuance of loud or unnecessary noise that annoys, disturbs, injures or endangers the comfort, repose, health, peace or safety of others within the unincorporated area of the county.

(Ord. of 4-23-1997, art. III, § 301)

Sec. 34-107. - Measurement and control of noise.

- (a) Any decibel measurement made pursuant to the provisions of this article shall be based on a reference sound pressure of 20 micropascals as measured with a sound level meter using the "A" weighted network scale at slow response.
- (b) The location selected for measuring exterior noise levels shall be at any point on the affected property. Interior noise measurements shall be made within the affected unit. The measurements shall be made at a point at least four feet from the wall, ceiling or floor nearest the noise source with windows in an open position depending on the normal seasonal ventilation requirements.
- (c) The zoning districts of the county are assigned the following maximum permissible sound levels from stationary sources:

Zoning District	Time of Day	Continuous Sound (dB)	Impulsive Sound (dB)
AG-1	Any time	90	120
R-1L, R-3L	Daytime	70	110
	Nighttime	50	80
R-1, R-2, R-3, MHP	Daytime	60	80
	Nighttime	50	70
C-1, C-2, C-3	Daytime	65	90
	Nighttime	60	80
I-1, I-2	Any time	70	110

(Ord. of 4-23-1997, art. III, § 302)

Secs. 34-108—34-200. - Reserved.



LEE COUNTY  
Planning Department  
Lee County, Georgia  
Staff Report

Variance Application Review – Mills, 376 Middle Rd. S, Land Lot 133 – 1st District

**Application Name:** Variance Application  
**Date:** 8/31/2023  
**Applicant Name:** Shirley Lorraine Mills  
**Property Owner:** Shirley Lorraine Mills  
**Location:** Land Lot 133, 1st Land District  
**Parcel Size:** 31.92 acres  
**Existing Zoning:** AG-1

Application Summary

The applicant proposes to locate a replacement manufactured home on the subject property for her daughter as an additional residence to the primary residence on the property. As stated, this is a replacement and there is currently a mobile home already located on the subject property.

Within Sec. 70-312 (r) the listing of permitted uses in AG-1 allows single-family residences or manufactured home subject to the requirements of section 70-78 of this chapter. In this case, the subject manufactured home to be replaced has been previously qualified as an "in-law suite."

Sec. 70-78. - Only one principal building per lot.

Except as herein provided, there shall be no more than one principal building per lot other than within a planned unit development.

- (1) In residential zoning districts an "in-law suite" may be allowed. When such a second accessory dwelling is constructed, the following rules shall apply:
  - a. The in-law suite shall not be larger than 75 percent of the footprint of the primary dwelling, with a maximum square footage of 1,500 square feet.
  - b. The in-law suite shall be used for housing family members only. No in-law suite shall be rented to non-family members. No commercial use of the in-law suite shall be permitted.
  - c. The in-law suite shall meet all building setback requirements for the zoning district in which it is located.
  - d. Each in-law suite shall be so defined by permanent physical markers as to be given a numerical address and location designation.
  - e. Each in-law suite shall receive approval from the county health authorities as to its suitability as a site for an effective sanitary sewage disposal system designed to accommodate wastes generated by the user of that land site.

- f. An acceptable domestic water supply shall be available to such dwelling and such water supply shall meet local public requirements as administered by the county health authorities.
- g. Each in-law suite shall be accessible either by private drive or public roadway to the public thoroughfare system.
- h. Each in-law suite established under this section shall meet the requirements of local construction and use codes established by the local governing authority.
- i. Building permits for construction will not be issued prior to the approval of each of the aforementioned conditions by the planning director, or his designee.

(Ord. of 12-2-2002, § 70-78; Res. No. Z05-036, 9-23-2005)

A variance is required to allow the proposed replacement manufactured home because it is larger than the structure size allowed by section 70-78 for an in-law suite. The ordinance states 1500 square foot maximum and the proposed replacement is 1780 square feet. The following is assessment of the Lee County Zoning Ordinance criteria for variances.

Variance Review Comments Summary

A variance may be granted by the Board of Commissioners, after review of the Planning Commission, in cases where the variance is determined to not be contrary to the public interest, and where owing to special conditions a literal enforcement of a specified zoning requirement will result in unnecessary hardship. A variance may be granted in a case of unnecessary hardship determine by the following criteria:

- (1) There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape or topography, and;
- (2) The application of the chapter to this particular piece of property would create an unnecessary hardship, and;
- (3) Such conditions are peculiar to the particular piece of property involved, and;
- (4) Release if granted, would not cause substantial detriment to the public interest or impair the purposes and intent of this chapter, provided, however, that no variance may be granted for a use of land or building which is prohibited by this article.

*The evaluation criteria for a hardship variance are generally met in this case. The size of the existing property is adequate to support the in-law suite in the form of a larger manufactured home. Application of the maximum square footage requirement of 1500 square feet to the proposed replacement manufactured home would create an unnecessary hardship. This situation is particular to this subject property in that there is an existing structure to be replaced that is occupied by the family members of the property owner. Relief from this maximum size requirement would not be expected to cause substantial detriment to the public interest or impact the purpose and intent of the zoning ordinance. If approved, the variance to allow the 1780 square foot structure would be associated with limitation on use of the replacement manufactured home to family members only.*

LEE COUNTY  
CITY OF LEESBURG  
CITY OF SMITHVILLE



VARIANCE APPLICATION

OWNER: Shirley Lorraine Mills  
ADDRESS: 376 Middle Rd S  
DAYTIME PHONE # \_\_\_\_\_ EMAIL: mac9955@earthlink.net  
ADDRESS OR LOCATION OF PROPERTY: 378' Middle Rd S

In order that the general health, safety and welfare of the citizens may be preserved, and substantial justice maintained, I (We) the undersigned request in connection with the property hereinafter described:

Present Zoning Ag Present Use of Property: Home

133 Land Lot Number 01 Land District 31.92 # of Acres

Reasons for requesting variance: Want to add mobile home for my daughter  
and its over 1500 sq ft

ALSO ATTACH: (1 copy of each) \_\_\_\_\_ Plat of property, including vicinity map  
 Legal description Containing Metes and Bounds

I hereby certify that I am the owner and/or legal agent of the owner, in fee simple of the above-described property.

WITNESS \_\_\_\_\_ OWNER: Shirley Lorraine Mills  
DATE: \_\_\_\_\_ DATE: 8-18-23

Application Fee: 15000 Date Paid: 8-18-23 Received by: [Signature]

In my absence, I authorize the person named below to act as the applicant in the pursuit of action for the application.

Applicant Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone #: \_\_\_\_\_ Email: \_\_\_\_\_



01060  
00285

0002991

BOOK 1060 PAGE 285

GEORGIA, LEE COUNTY  
FILED FOR RECORD ON

May 15 2006  
Book 1060 p 285  
RECORDED 5-15-06

LEE COUNTY, GEORGIA  
REAL ESTATE TRANSFER TAX  
PAID \$ 199.90

DATE 5-15-06  
Sara Clark  
CLERK OF SUPERIOR COURT  
PT 610882006000797

Sara Clark  
ANN E. NIX, CLERK,  
S.C.L.C. GA

Return Recorded Document to:  
Gardner, Willis, Sweat & Goldsmith  
2408 Westgate Boulevard  
P. O. Drawer 71788  
Albany, Georgia 31707-0035

### WARRANTY DEED

STATE OF GEORGIA  
COUNTY OF DOUGHERTY

This Indenture made this 12th day of May, in the year Two Thousand Six, between Sarah E. Pelham, of the County of Lee, State of Georgia, as party or parties of the first part, hereinunder called Grantor, and Darrell Keith Mills and Shirley Lorraine Mills, as party or parties of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits)

WITNESSETH that: Grantor, for and in consideration of the sum of TEN and 00/100'S (\$10.00) Dollars other good and valuable considerations in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee,

All that tract or parcel of land lying and being in Land Lot 133, 1<sup>st</sup> Land District of Lee County, Georgia and being more particularly described on Exhibit "A" attached hereto and expressly made a part hereof, as recorded in the Office of the Clerk of Superior Court of Lee County, Georgia. Further conveyed with subject property are any and all well and water rights, quotas, bases, and any government programs as identified by the FSA Office of Lee County, Georgia.

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee forever in FEE SIMPLE.

AND THE SAID Grantor will warrant and forever defend the right and title to the above described property unto the said Grantee against the claims of all persons whomsoever

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal this day and year first above written.

Signed, sealed and delivered in the presence of:

[Signature]  
Witness

Sarah Ellen Pelham  
Sarah Ellen Pelham

[Signature]  
Notary Public



SW-5580-4/bf  
11-132.601

LAW OFFICES  
GARDNER, WILLIS  
HEAT & MANDELMAH, LLP  
2408 WESTGATE DRIVE  
P.O. DRAWER 71788  
ALBANY, GEORGIA  
31706-1788  
228.991.244



Start at the Southwest corner of Lot of Land #133, 1st Land District, Lee County, Georgia; thence run North 00 degrees, 35 minutes East a distance of 213.57 feet to the beginning point of the land herein conveyed and from said beginning point go North 00 degrees, 35 minutes East, a distance of 1291.15 feet to an iron pin on fence line; thence go North 89 degrees, 45 minutes East, a distance of 1090.64 feet to an iron pin; thence continue North 89 degrees, 45 minutes East 1010 feet to a point on the West margin of the middle road; thence South 5 degrees 44 minutes West a distance of 60.33 feet to a point on the West margin of said middle road; thence South 89 degrees, 45 minutes West, a distance of 1010 feet to a point; thence South 5 degrees, 44 minutes West 210 feet to an iron pin; thence South 89 degrees, 45 minutes West, 59.59 feet to an iron pin; thence South 00 degrees, 15 minutes East, 1022.16 feet to an iron pin; thence South 89 degrees, 45 minutes West a distance of 1022.65 feet to the beginning point.

The within described property is shown on a Plat of Survey made by Malcolm Burnsed, registered land surveyor, entitled "Property of Walter G. Staines, Jr.". Said plat being recorded in Plat Book "E", page 119, in the Office of the Clerk of Superior Court, Lee County, Georgia.

**Landlord Private Property Waiver**

Customer File #: 3089570

Borrower Name: Mackenzie Mills and Logan Duckworth

This form certifies that there will be no lot rent or land payment for the manufactured home located at:

Address: 378 Middle Row South

City: Leesburg State: GA Zip Code: 31763

Landowner Name (print): Darrell Keith Mills Shirley Lorraine Mills

Landowner Phone #: \_\_\_\_\_

Relationship to Borrower: Daughter

Shirley Lorraine Mills  
\*Landowner Signature  
Darrell Keith Mills

\*Copy of Deed or most recent tax records must accompany this form to document ownership of the land by Landowner.



Lee County Tax Commissioner  
Susan F. Smith

100 Starksville Avenue, N • Post Office Box 9 • Leesburg, Georgia 31763  
Office Hours: 8:00 am - 4:30 pm Monday - Friday

Date: 8/11/23

RE: Mobile Home Owner as currently titled:

Logan Duckworth and Mackenzie Mills

Mobile Home:

Year: 2024 Make: Destiny Model: 290TE32603B

Length: 60 Width: 32 Serial No: DES290GA23-13189AB

Lee County Building Inspector,

This letter is to certify ownership of the above described mobile home.

- It is currently titled with the Georgia Department of Revenue.
- We have received a PT-41.
- We have received a Bill of Sale.
- We have a copy of the MSO.
- Taxes are current.

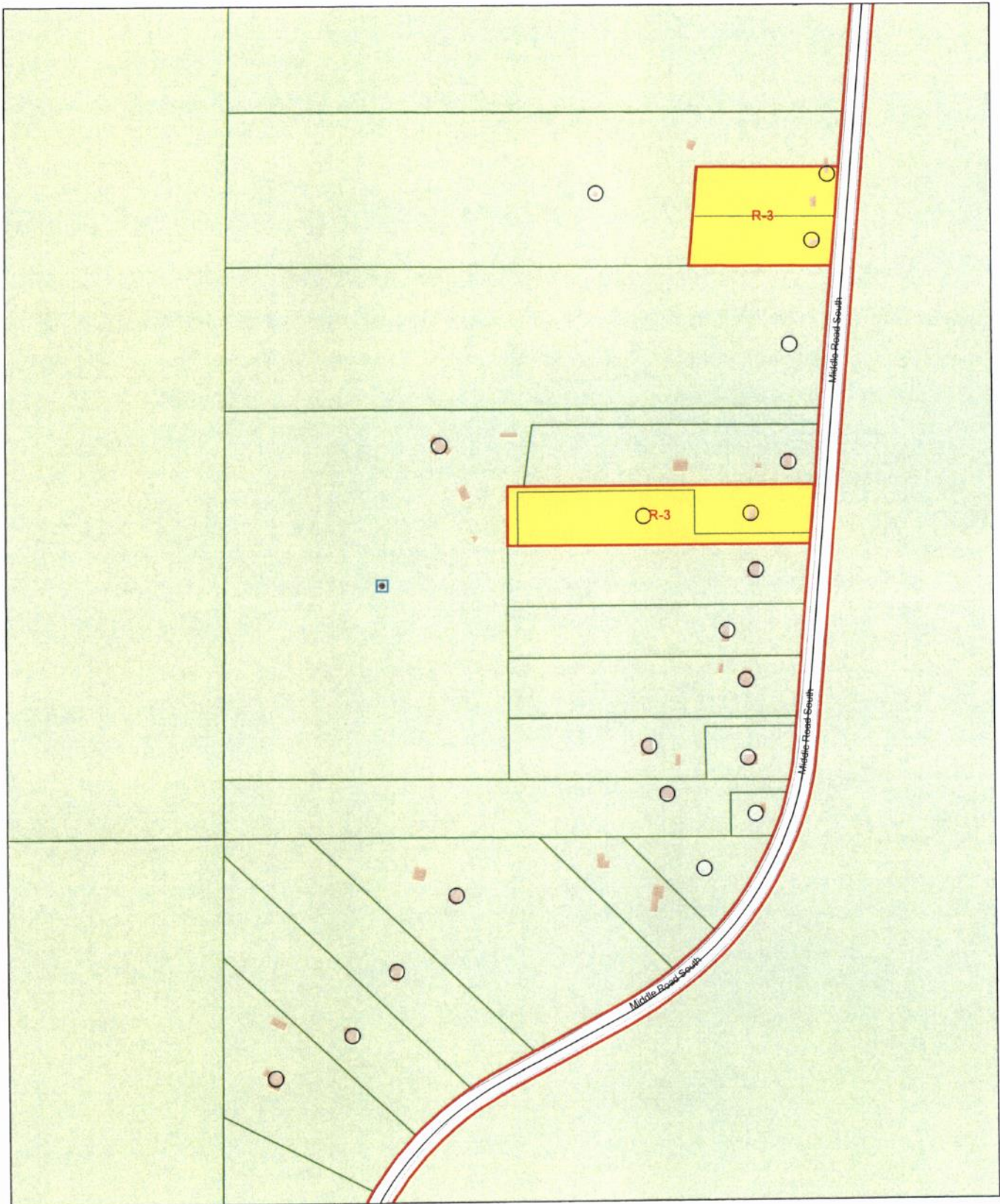
Sincerely,

Susan F. Smith  
Lee County Tax Commissioner  
229-759-6015  
229-759-6041 – fax  
www.leegatax.com

Phone: (229) 759-6015 • Fax: (229) 759-6041 • www.leegatax.com

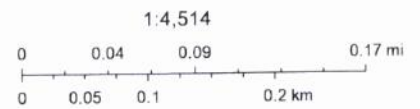
Lee County is a thriving vibrant community celebrated for its value of tradition encompassing a safe family oriented community, schools of excellence, and life long opportunities for prosperity without sacrificing the rural agricultural tapestry.

# Lee County, GA Zoning



8/31/2023, 3:52:37 PM

- Address Points
- Lee County Boundary
- Building Footprints
- Roads
- Detailed Zoning
- Parcels
- Zoning
- Agriculture
- Residential



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**MEMORANDUM  
LEE COUNTY BOARD  
OF COMMISSIONERS**

**TO:** Honorable Board of County Commissioners  
**SUBJECT:** Surplus Vehicles  
**MEETING DATE:** Tuesday, September 12, 2023

---

**MOTION/RECOMMENDATION**

Motion to declare the following vehicles surplus, to be sold on GovDeals:

- 2002 Ford F-150 XL with 185,631 miles, VIN 4734
- 2003 Ford F-150 XL with 205,647 miles, VIN 3283
- 2009 Chevy Tahoe with 296,177 miles, VIN 6674

**LEE COUNTY  
CURRENT BOARD VACANCIES**

Candidates appointed by the Lee County Board of Commissioners are required to live in Lee County. If you would like to be considered for appointment to a County Volunteer Board, please submit a letter of interest including any certificates, resumé, or related documents you want to be considered or complete the Volunteer Board application. For additional information on these Volunteer Boards, see the Lee County website or contact the Deputy County Clerk.

Payton Harris, Deputy County Clerk  
Lee County Board of Commissioners  
102 Starksville Avenue North  
Leesburg, Ga. 31763  
(229) 759-6000  
[www.lee.ga.us](http://www.lee.ga.us)  
[payton.harris@lee.ga.us](mailto:payton.harris@lee.ga.us)

Vacancies will be open until filled.

<b>Current Volunteer Board Vacancies</b>	<b>Vacancies</b>	<b>Expires</b>	<b>Term</b>
Housing Authority Board – Lee County	1	08/31/2023	5 Year
Utilities Authority Board	1	01/31/2024	1 Year
Tax Assessors Board	1	05/31/2024	3 Year

<b>Upcoming Volunteer Board Vacancies</b>	<b>Vacancies</b>	<b>Expires</b>	<b>Term</b>
Health Board of Lee County	1	12/31/2023	6 Year
Hospital Authority of Lee County	1	12/31/2023	1 Year
Joint Development Authority of Baker, Dougherty, Lee, and Terrell Counties	1	12/31/2023	1 Year
Joint Development Authority of Baker, Dougherty, Lee, and Terrell Counties	1	12/31/2023	2 Year

\*Denotes one vacancy being held "By Virtue of Office"

**Housing Authority Board – Lee County**

<b>District</b>	<b>Name &amp; Address</b>	<b>Telephone Number &amp; Email</b>	<b>Term</b>	<b>Appointing Authority</b>
Resident	Latrisha Bell 122 B Academy Ave. P.O. Box 798 Leesburg, GA 31763	Latrishab8@gmail.com (229) 869-9000 Per p/c: 06/02/2017	1 Year Term Expiring on 03/31/2024	County
2	Jennifer Johnston 137 Winifred Road Leesburg, GA 31763	Blajenjo@gmail.com	5 Year Term Expiring on 08/31/2025	County
2	Gwendolyn Meriweather 199 Fairethorne Drive Leesburg, GA 31763	gwoodham@bellsouth.net	5 Year Term Expiring on 08/31/2026	County
2	VACANT		5 Year Term Expiring on 08/31/2023	County
5	Christopher Prokesh 111 Aubry Court Leesburg, GA 31763	759-6464 – Work cprokesh@hotmail.com	5 Year Term Expiring on 06/30/2024	County
4	Kerrie Davis 169 Huntingdon Dr Leesburg, GA 31763	888-0702 – Home 438-3920 – Work mrskerriedavis@yahoo.com	5 Year Term Expiring on 06/30/2026	County

All members must be Lee County residents. Meetings are held on a quarterly basis on the third Tuesday of January, April, July and October at 5:30 P.M. at 521 Pine Avenue, in Albany, Ga. William Myles, CEO  
 Email: wmyles@albanyha.com; Telephone: (229) 434-4500; FAX: (229) 434-4502  
 sevans@albanyha.com  
 P.O. Box 485, Albany, GA 31702  
 Website: <http://portal.hud.gov/hudportal/HUD>  
 • Mileage is reimbursed for out of town meetings only



**Kaitlyn Good**

---

**Subject:** FW: Volunteer Board

**From:** Cicily Florence [<mailto:cicilyflorence@gmail.com>]

**Sent:** Friday, September 1, 2023 10:18 AM

**To:** Payton Harris <[payton.harris@lee.ga.us](mailto:payton.harris@lee.ga.us)>

**Subject:** Volunteer Board

Hey Payton,

I hope this email finds you well. I see there are vacancies with the Tax Assessors Board and Housing Authority. I would also like to volunteer for both of these boards. Not sure if you need another letter of interest or if this will suffice. Let me know if you will need anything further from me.

Thank you for all you do.  
Cicily C. Florence

--

**Tax Assessors Board**

<b>District</b>	<b>Name &amp; Address</b>	<b>Telephone Number &amp; Email</b>	<b>Term</b>	<b>Appointing Authority</b>
3 08/31/2018	Timothy Sumners 271-C Crotwell Road Leesburg, GA 31763	timsumners@gmail.com	<b>3 Year Term</b> Expiring on 08/31/2025	County
	VACANT		<b>3 Year Term</b> Expiring on 05/31/2024	County
1 05/31/2000	Chuck Gee 138-F Uncle Jimmy's Lane Leesburg, GA 31763	(850) 814-0949 – Home chuck.gee@icloud.com	<b>3 Year Term</b> Expiring on 05/31/2026	County

Members must be Lee County citizens. Board meetings are held on the second Monday of each month at 4:00 PM at the Tax Assessor Office, 104 Leslie Highway, Suite B, Leesburg, GA 31763.

Doug Gooden, Chief Appraiser  
Telephone: (229) 759-6010; FAX: (229) 759-6382  
Website: [www.qpublic.net/ga/lee/](http://www.qpublic.net/ga/lee/)

- Board Members: paid \$150/mthly

**\*See RES 2018-23\***



# LEE COUNTY

Board of Commissioners

One of Georgia's original counties - Established in 1825

## VOLUNTEER BOARD APPLICATION

Name: Bobbie Yandell

Street Address: 85 Senah Dr

City, State, ZIP Code: Leesburg, GA 31763

Phone Number: \_\_\_\_\_

E-Mail Address: byandell@artesianalliance.org

Board(s) Appointment Requested: Tax Assessors Board

### Summarize special skills and qualifications you have acquired from employment, previous volunteer work, government or through other activities.

Previously licensed in 3 states as a Property & Casualty Insurance Agent-Familiar with real estate transactions, closings, home valuation, inspections, risk management, zoning, property maps – Personal, Business and AG use.

Business Management- Personally familiar with the construction processes & requirements in building large-scale business operations, as well as construction in personal homes and additions.

Director of Archives -Information Management & Data Governance – experience in local government departments, regarding business processes, digitizing, assigning metadata, information structure, access management, retention. Familiar with reading prints- including building plans, subdivision, street, site, plats, zoning, tax maps, and GIS systems.

Proficient in skills involving: computer, math, finance, organizational, communication -listening, verbal and written, deductive reasoning, problem solving, analytical, conflict resolution and customer relations/service.

Lee County is a thriving, vibrant community celebrated for its value of tradition encompassing a safe family oriented community, schools of excellence, and life long opportunities for prosperity and happiness without sacrificing the rural agricultural tapestry.

Chairman  
Billy Mathis  
District 3

Vice-Chairman  
Luke Singletary  
District 2

Commissioner  
Dennis Roland  
District 1

Commissioner  
Chris Guarnieri  
District 4

Commissioner  
George Walls  
District 5

County Manager  
Christi Dockery

County Attorney  
Jimmy Skipper

102 Starkville Avenue North  
Leesburg, Georgia 31763

Office: (229) 759-6000  
Fax: (229) 759-6050

www.lee.ga.us



# LEE COUNTY

Board of Commissioners

One of Georgia's original counties - Established in 1825

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### Summarize your previous volunteer experience.

Lee County High School NJROTC Cadet Parent Organization: Created/Formed the 501(c)(3) Non-Profit Organization in 2018. Served as the elected President from 2018 until 2023 after stepping down to allow others the opportunity to serve.

Georgia Records Association – Member since 2016. Currently serving its President.

The Sanctuary Homeowners Association – Member and serving as the Board Secretary since 2019

First Freewill Baptist Church, Albany, GA – Member since 1984. Previous Chairman of the Welcoming Committee.

Rivers Alive Volunteer

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---

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102 Starkville Avenue North  
Leesburg, Georgia 31763

Office: (229) 759-6000  
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[www.lee.ga.us](http://www.lee.ga.us)

**Kaitlyn Good**

---

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Thank you for all you do.  
Cicily C. Florence

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## MEMORANDUM

### LEE COUNTY BOARD OF COMMISSIONERS

**TO:** Honorable Board of County Commissioners  
**SUBJECT:** County Updates

---

#### Agricultural/ Recreation Complex

- Located on 100 acres on Leesburg Bypass — 231 State Route 3
- Proposed plans provided July 29, 2020
  - Including: A boating access point at the creek's edge, the agricultural complex, walking trails, and campsites
- Resolution adopted and lease agreement signed on September 22, 2020 with Georgia Department of Natural Resources for a Boat Ramp
  - Renewed January 11, 2022
  - Estimated Start Date: Fall 2023
  - DNR hired EMC Engineering to survey property for canoe/kayak ramp
  - DNR staff notified us that the DNR Commissioner has signed the Boat Ramp agreement for the Lee County construction project
  - Engineering design began in January 2023
- Improvements to the Property
  - Renovation of Covered Building: New roof, fresh paint, picnic tables, electrical system, well
  - Bobby Donley, Lanier Engineering, provided proposed site plan
    - Proposal submitted to the BOC for review
  - Trails: ¾ mile walking trail that runs along a 46 foot high ridgeline above the Kinchafoonee Creek and has a seasonal view of the waterway
    - Eight (8) picnic tables as well as a number of trash cans have been placed along this trail on the creek side
    - Directional signs for the area ordered (i.e. Parking, No Parking, trail markers, boundary signs, etc.)
- Future Improvements
  - Define the location of the road
  - Grade and place compacted crushed stone GAB/recycled asphalt on the area on top of the ridgeline for a parking area
  - Placing a gate at the trailhead so that the area can be closed to public for safety during high water events
- Planning/Designing Committee created by the Board at the May 11, 2021 meeting
  - **Committee Members:** Art Ford, Tim Sumners, Tom Sumners, Bobby Donley, Lisa Davis, David Dixon, Judy Powell, Commissioner Rick Muggridge, Commissioner Luke Singletary, County Manager Christi Dockery, Parks & Recreation Director Jeremy Morey
    - **First Meeting:** June 14, 2021
    - **Second Meeting:** November 15, 2021
    - **Third Meeting:** January 11, 2022
  - Staff is working with a local engineering firm to develop a plan
- Professional Services Agreement with Lose Designs approved and signed on August 8, 2023
- Onsite meeting will be held September 2023

### 2020 Census Numbers

- Lee County: 33,179
- Smithville: 593
- Leesburg: 3,480

### 2021 Census Numbers

- Lee County: 33,411

### Commercial Land Development Permits

- Ace Hardware Store – Hwy 82
- Artesian City Federal Credit Union
- Boaters World – Ridezilla – Hwy 19
- DeSoto Silicon Ranch Phase II & III
- Drake Properties – Downtown Leesburg Restaurant
- Eliano's Coffee – Hwy 19
- El-Maya Restaurant Renovation and Expansion – US 19
- Flint Ventures Commercial Subdivision – US 19
- Forrester Crossing Commercial Subdivision Phase II – Hwy 19
- Forrester Crossing Phase I – New Office Building
- Georgia Electric Associates New Office – Veterinary Way
- Giovingo Properties Sanitary Sewer Expansion – US 82
- Ledo Self Storage Phase II
- Mavis Tire – Hwy 19
- New Jerusalem Grove Baptist Church – Smithville
- New Little Caesar's Location – US 82
- Seven Brew – Hwy 82
- Southern Hills Orchards – New York Road AG Office Space
- Three (3) Proposed Package Stores – Hwy 19 & Hwy 82
- Tidal Wave – Ledo Road
- Whistle Wash – Hwy 82
- Woodgrain Millwork Expansion – Hwy 82

### GIS

#### Road Layer

- Including road width, length, and speed limits

#### Utilities Mapping Project

- Purpose: To map all utilities in Lee County
  - Includes water mains, water valves, water towers, fire hydrants, sewer lines, sewer manholes, sewer pump stations, fiber, gas, telephone, etc. as well as feature type, pipe size, pipe material, valve size
  - Also mapping greenspace, stormwater holding ponds, Haz Mit lots, etc.
- Goal: To have an internet map in ArcGIS Online where utility workers can view utility maps on a tablet in the field.

### LMIG Funds

- **FY2024**
  - Letter received from GDOT July 5, 2023
  - Funds Received from GDOT: \$690,908.06
    - Total, with 30% match from Lee County: **\$898,180.48**
  - Application due February 1, 2024
- **FY2023**
  - Application Submitted October 18, 2022
  - Roads: Lumpkin Road West, Quail Street, Northwood Drive, Stanley Street, Cannon Drive, Balmoral Drive, Elgin Court, Montrose Drive, Brittany Lakes Drive, Fairethorne Drive, Graves

Springs Road, Heathridge Court, Hearthstone Drive, Sterling Drive, Pewter Court, Willow Lake Drive, Fair Oaks Court, Hickory Ridge Court, Cedric Street, Ravenwood Court, Maplewood Court, and Sportmans Club Road. Striping remains to be completed.

- Funds Received from GDOT: \$627,424.76
  - Total, with 30% match from Lee County: **\$815,652.19**
  - BOC awarded bid on December 13, 2022 to Reeves Construction Company for \$1,977,781.35
- Completed: May 2023
- July 2023: Documents submitted to GDOT for closeout

### **Sidewalks**

- Georgia Department of Transportation, GDOT, has approved the City of Leesburg's request for funding assistance for sidewalks on State Route 3, State Route 32, and Firetower Road
- GDOT is committing up to \$304,000.00, or 70% of the project cost, whichever is less
- December 22, 2022: Board voted to pay the County's share of the cost for sidewalks on Firetower Road (\$13,500.00)
- Ongoing project

### **Smithville Road Bridge**

- Georgia Department of Transportation, GDOT, plans to replace the bridge over the Muckaloochee Creek on Smithville Road
- Construction and Maintenance Easements received from adjoining property owners and recorded
- Estimated Start Date: Summer 2023
  - Detour will be implemented during this construction

### **Speed Limit Ordinance**

- Approved by BOC at April 26, 2022 meeting
- Staff has submitted documents to GDOT
- Requested DOT examine Old Leesburg Road/State Route 133
- Awaiting GDOT review and approval

### **SPLOST VII**

- Collection Period: October 1, 2019 - September 30, 2025
- Ballot amount: \$20,825,603.00
  - Current collection: \$18,301,109 as of August 2023 (88%)
  - Average monthly collection: \$397,850.20
  - Projected to collect ballot amount by February 2024

### **SPLOST VIII**

- Possible Ballot Year: November 2024
- Collection Period: October 1, 2025 - September 30, 2031
- LC Departments have submitted their requests for projects to be included on the next ballot
- Staff has brought the BOC a proposal to consider at the August 9, 2023 meeting

### **Storm Drainage Repair/ Holding Ponds**

- Lumpkin Road
  - BOC approved a contract with Lanier Engineering to survey in March 2020
    - Survey completed June 2020
    - BOC currently reviewing plans and options
- Liberty Holding Pond (Doublegate)
  - BOC approved a contract with engineer Mike Talley to design
  - BOC approved a contract with Lanier Engineering to survey in February 2019
  - Under review

### **TSPLOST**

- Collection Period: April 1, 2019 - March 31, 2024



- Ballot amount: \$16,995,017.00
  - Current Collection: \$15,616,660 as of August 2023 (92%)
  - Average monthly collection: \$300,320.00
  - Projected to collect ballot amount by December 2023

### **TSPLOST II**

- Joint meeting held Tuesday, June 21, 2022 at 5:00pm
- Voters approved continuation of TSPLOST II in November 2022
- Collection Period: April 1, 2024 – March 31, 2029

### **Telecommunications Tower**

- To be located at the Smithville Fire Station
- Partnering with Motorola
- Surveying has begun
  - Once completed, crews can then break ground
- Estimated Completion: May 2024

### **Westover Extension**

- GDOT project - DARTS support
- Will connect Westover Road and Ledo Road at Capstone Connector
- Oxford Construction Company awarded bid from GDOT
  - Project ongoing
- Staff is working with GDOT and DARTS on signal and safety issues for Ledo Road intersection
- Estimated Completion Date: December 2024

### **Windstream – Kinetic Fiber Installation**

- Kinetic staff is currently staking installation areas throughout the county
- Engineering design is expected to be completed by January 2024
- Crews will begin fiber installation in early 2024 with anticipated completion of over 4,234 underserved properties by the end of 2024.
- Project is required to be completed by 2026 with minimum speeds of 100 Mbps download and 100 Mbps upload
- Funding for this project includes:
  - Grant award from Georgia's State & Local Fiscal Recovery Funds - \$12,541,241.00
  - Kinetic funding of \$7,337,804.00 with Lee County's match of \$1,200,000.00
  - ARPA funding
  - Total Investment: \$21,079,046.00

## **RFPs and RFQs**

### **Open**

#### **Landscaping**

- Courthouse and Tharp Building
- Pre-Bid Meeting: August 10, 2023
- Bid Opening: September 21, 2023
- Results projected to be brought to the Board on September 26, 2023

### **Recently Awarded**

#### **Elections and Registration Office Renovation**

- Approved by BOC at April 11, 2023 meeting
- Pre-Bid Meeting: July 6, 2023
- Bid Opening: July 20, 2023
  - No bids received
- Bid was republished

- Pre-Bid Meeting: August 8, 2023
- Bid Opening: August 21, 2023
- BOC awarded bid on August 22, 2023 to **3D Construction, Inc.** at a cost of **\$90,200.00**
- Notice to Proceed sent September 7, 2023

### Inmate Medical Services

- Bid Opening: April 27, 2023
- BOC awarded bid on May 9, 2023 to **Southern Health Partners**
- Base pricing of \$418,800.00 annually and with added Dental and Mental Health, will bring the first year's price to \$440,264.00
  - Will increase by 4% the second and third year of the contract
- Service began July 1, 2023

## Future

### Fencing

- Approved by BOC at April 25, 2023 meeting
- Staff writing RFP documents
- To be placed at several County facilities
- Projected Bid Opening: TBD

### Courthouse Window Coverings

- Approved by BOC at May 25, 2021 meeting
- Pre-Bid Meeting: October 18, 2022
- Project to be reopened at a future date

### LED Lighting in the Fire Stations

- Previous Pre-Bid Meeting: September 20, 2022
- Previous Bid Opening: October 19, 2022
- Results brought to the Board on October 25, 2022
  - Bids rejected
- Project to be reopened at a future date

### LED Lighting in all County Buildings

- Approved by BOC at March 23, 2021 meeting
- Projected Bid Opening: TBD

### ADA Compliant Website

- Staff writing RFP documents
- Projected Bid Opening: TBD

### County Building Painting Services

- Approved by BOC at March 23, 2021 meeting
- Staff writing RFP documents
- Projected Bid Opening: TBD

### Flooring Services for County Buildings

- Approved by BOC at April 27, 2021 meeting
- Staff writing RFP documents
- Projected Bid Opening: TBD

### Extended Sewer Installation on Hwy 19

- Approved by BOC at June 22, 2021 meeting
- Staff writing RFQ documents
- Projected Bid Opening TBD

After recording, Return to:  
Timothy O. Davis, Esq.  
600 N. Jackson Street  
Albany, GA 31701

### UTILITY EASEMENT

STATE OF GEORGIA  
COUNTY OF LEE

THIS UTILITY EASEMENT (hereinafter "Easement"), made this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_, by and between **BOARD OF COMMISSIONERS OF LEE COUNTY, GEORGIA**, as party of the first part (hereinafter called "Grantor") and **THE CITY OF LEESBURG, GEORGIA**, as party of the second part (hereinafter called "Grantee").

#### *WITNESSETH:*

**WHEREAS**, Grantee is desirous of securing an easement for utilities, including water and sewer services, across and through a portion of the Grantor's Property;

**NOW THEREFORE**, for and in consideration of the sum of TEN DOLLARS (\$10.00) and other good and valuable consideration, Grantor does hereby grant and convey unto said Grantee, an easement for utilities services, over, across and through a portion of the Grantor's Property, as more particularly shown on that certain plat attached hereto and Exhibit "A" and made a part hereof.

(1) Grantee hereby agrees to indemnify and hold Grantor harmless against any and all claims of property or personal damages resulting from the construction, maintenance, repair or removal of, or failure to maintain and repair the utilities above described and all expenses relative to construction, maintenance, repair, and removal thereof will be borne by Grantee.

(2) Grantee agrees that it will be responsible for the restoration of the construction area and Easement area after construction of said utilities so that the ground affected thereby will be left in good and sightly condition. Grantee will, at its expense, fully replace in a workmanlike manner, all paving or concrete (as well as soil thereunder) removed, destroyed or broken by the said Grantee in its said maintenance, removing, replacing, or repairing said pipe.

(3) Grantee shall exercise due diligence in causing the construction of the aforementioned utilities.

(4) This instrument is intended to convey only in easement for the aforesaid purpose; said Easement being limited as aforesaid with all rights conveyed hereunder to cease and revert to Grantor at such time as Grantee shall cease to use said Property for the purposes set forth herein.

(5) Grantee agrees that it will construct the utilities lines at a depth sufficient to avoid interference with surface use, including, but not limited to, parking and driveway uses.

(6) The terms "Grantor" and "Grantee" as used herein shall be deemed to mean their respective heirs, successor and assigns, and this Agreement shall inure to the benefit of and be binding upon Grantor, Grantee and their respective heirs, successors and assigns.

IN WITNESS WHEREOF, the parties hereto have hereunto set their hands and their seals on the day and year above first written.

Signed, sealed and delivered in the presence of:

\_\_\_\_\_  
Unofficial Witness

\_\_\_\_\_  
Notary Public  
My Commission Expires:\_\_\_\_\_.

GRANTOR:  
BOARD OF COMMISSIONERS OF LEE COUNTY, GEORGIA

By:\_\_\_\_\_ (SEAL)  
Print Name:\_\_\_\_\_  
Title:\_\_\_\_\_

[Affix Notary Seal Here]

Signed, sealed and delivered in  
the presence of:

GRANTOR:  
THE CITY OF LEESBURG, GEORGIA

\_\_\_\_\_  
Unofficial Witness

By: \_\_\_\_\_(SEAL)

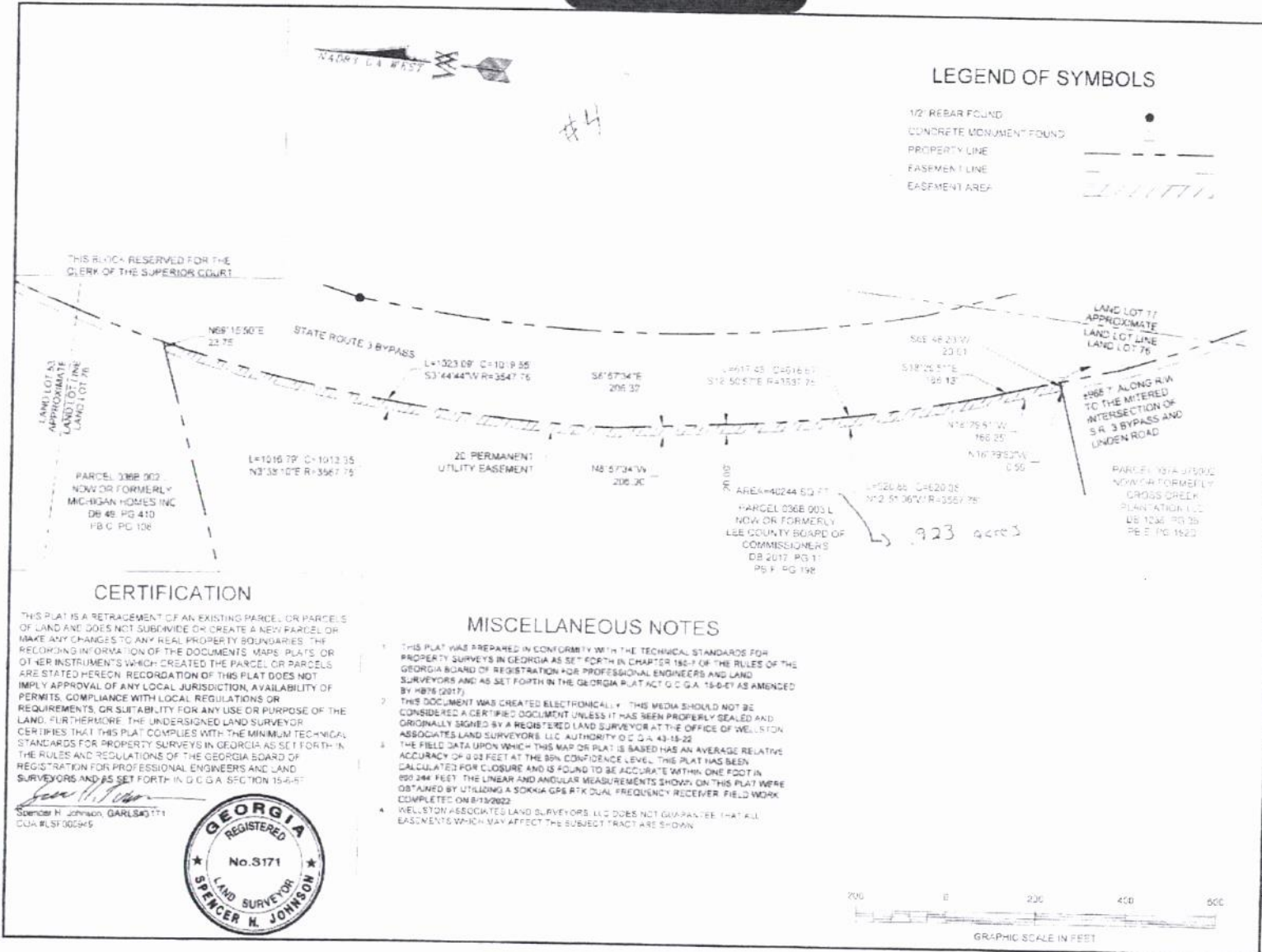
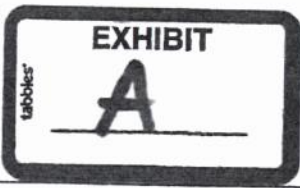
Print Name: \_\_\_\_\_

Title: \_\_\_\_\_

\_\_\_\_\_  
Notary Public

My Commission Expires: \_\_\_\_\_.

[Affix Notary Seal Here]



Revisions  
 No. Date  
 \_\_\_\_\_

WELLSTON ASSOCIATES  
 LAND SURVEYORS, LLC  
 1000 WILSON ROAD, SUITE 100  
 WOODBRIDGE, GEORGIA 30189  
 WWW.WELLSTONASSOCIATES.COM

UTILITY EASEMENT  
 FOR  
**PARCEL 036B 003 L**  
 LEE COUNTY BOARD OF COMMISSIONERS  
 LAND LOT 76  
 LEE COUNTY, GEORGIA

Project No. 1233-042  
 Drawing No. CSMT  
 Drawn By. M.H.  
 Checked By. S.H.  
 R.T.S. No. 3171  
 Date. 3/15/2023  
 Scale. 1"=200'  
 Sheet No. **1 of 1**



# WATER SYSTEM IMPROVEMENTS

## FOR THE CITY OF LEESBURG

LEE COUNTY, GEORGIA

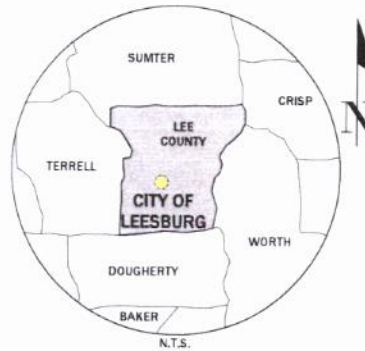
SEPTEMBER 1, 2022

STILL WATERS PROJECT No.: L0505.011

GEFA PROJECT No.: DWDRA20007

### CITY OFFICIALS

NAME	TITLE
BILLY BREEDEN	MAYOR
JUDY POWELL	COUNCIL MEMBER
JASON RENFROE	COUNCIL MEMBER
RUFUS SHERMAN	COUNCIL MEMBER
AMANDA WHITE	COUNCIL MEMBER
BOBBY WILSON	COUNCIL MEMBER
BOB ALEXANDER	CITY MANAGER
RUSS FERGUSON	WATER & WASTE WATER SUPERINTENDENT
RICHARD CHESTER	PUBLIC WORKS DIRECTOR



### INDEX TO DRAWING

-	COVER
1	GENERAL NOTES, LEGEND & ABBREVIATIONS
2-4	EROSION, SEDIMENTATION & POLLUTION CONTROL NOTES
5	EROSION, SEDIMENTATION & POLLUTION CONTROL DETAILS
6-12	WATER MAIN IMPROVEMENTS
13	CONSTRUCTION DETAILS



PREPARED BY:

**STILL WATERS**  
ENGINEERING

L3C WATERBURY WAY UNIT 2, LEESBURG, GA 31763 229.406.9700  
WWW.STILLWATERSENG.COM



REVISIONS


**GENERAL CIVIL PLAN NOTES**

- CONTRACTOR TO CALL THE UTILITY INSPECTION AGENCY, GEORGIA 811 AT 1-800-282-7411 OR 811 72 HOURS PRIOR TO COMMENCING WORK.
- ALL EXISTING UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS RESPONSIBLE FOR WRITTEN NOTIFICATION TO ALL RESPECTIVE UTILITY OWNERS FOR FIELD VERIFICATION. CONTRACTOR MUST FIELD VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES ON THE CONSTRUCTION SITE. ALL COSTS ASSOCIATED WITH DAMAGES OR REPAIRS TO AND FINES, PENALTIES OR FEES ASSOCIATED WITH EXISTING UTILITIES SHALL BE AT THE CONTRACTORS EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES, MAILBOXES, FENCES, SHURBERRY, TREES, LANDSCAPING, SIGNS AND ALL OTHER STRUCTURES FROM DAMAGE DURING CONSTRUCTION. THE COST OF REPAIR AND REPLACEMENT OF ANY UTILITIES, SHURBERRY, TREES, SIGNS AND ANY OTHER STRUCTURES, DAMAGED DURING CONSTRUCTION, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. HOWEVER, ALL MAILBOXES, FENCES, SHURBERRY, TREES, LANDSCAPING, SIGNS AND ALL OTHER STRUCTURES INTERFERING WITH CONSTRUCTION (WITHIN NOW GOOD RIGHT-OF-WAY) SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE. CONTRACTOR SHALL COORDINATE WITH ENGINEER AND PROPERTY OWNER PRIOR TO PERFORMING ANY SUCH WORK.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS AND DEPTHS PRIOR TO ANY CONSTRUCTION. ANY CHANGES FROM THE DESIGN LOCATION SHALL BE BROUGHT TO THE OWNER AND ENGINEERS ATTENTION PRIOR TO CONSTRUCTION.
- CONSTRUCTION ACTIVITIES SHALL CONFORM TO APPLICABLE STATE, COUNTY AND MUNICIPAL REQUIREMENTS AND CODES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL DEVICES AND MEASURES AS NECESSARY TO MEET THE REQUIREMENTS OF THE GEORGIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY.
- CONSTRUCTION SHALL OCCUR IN A MANNER THAT ALLOWS LOCAL VEHICULAR TRAFFIC TO ACCESS THEIR HOME OR BUSINESS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE DEMOLITION AND IMPROVEMENTS TO MINIMIZE TRAFFIC INTERFERENCES AND OBSTRUCTIONS OF FACILITIES.
- THE CONTRACTOR SHALL MAKE ALL PRECAUTIONS TO MINIMIZE AND PREVENT UTILITY DISRUPTIONS. ALL UTILITIES THAT ARE INTERRUPTED / DAMAGED SHALL BE REPAIRED WITHIN 24 HOURS UNLESS THE OWNER GRANTS WRITTEN PERMISSION STATING OTHERWISE.
- AS-BUILT DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE A SET OF MARKED UP AS-BUILT DRAWINGS AS WELL AS A CD CONTAINING THE AS BUILT INFORMATION IN ELECTRONIC FORM. NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE FOR RECORD SURVEY OR AS-BUILT DRAWINGS. THIS SHALL BE CONSIDERED A SUBSIDIARY OBLIGATION OF THE CONTRACT.
- THE DATA, ALONG WITH ALL INFORMATION SHOWN ON THESE PLANS OR IN ANY WAY INDICATED THEREBY, WHETHER BY DRAWING OR NOTES, OR IN ANY OTHER MANNER, ARE BASED UPON FIELD INVESTIGATIONS AND ARE BELIEVED TO BE INDICATIVE OF ACTUAL CONDITIONS. HOWEVER, THE SAME ARE SHOWN AS INFORMATION ONLY, ARE NOT GUARANTEED, AND DO NOT BIND STILL WATERS ENGINEERING.
- CONTRACTOR WILL NOTIFY THE ENGINEER IF UNSUITABLE MATERIAL IS ENCOUNTERED DURING CONSTRUCTION.
- ANY CONSTRUCTION STAKING ON THE PROPOSED PROJECT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE PAID FOR BY THE CONTRACTOR.
- ALL EROSION AND SEDIMENTATION CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE AS DIRECTED BY THE ENGINEER OR OWNER.
- EXISTING SIGN LOCATIONS ARE APPROXIMATE. SIGNS SHALL BE REMOVED AND REINSTALLED AS NEEDED TO CONSTRUCT NEW IMPROVEMENTS. UNLESS NOTED OTHERWISE, ALL EXISTING SIGNS WILL REMAIN.
- THE CONTRACTOR SHALL MAKE TEMPORARY SERVICE CONNECTIONS AS NECESSARY TO ASSURE UTILITY SERVICE IS RESTORED AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE OBTAINMENT OF ALL PERMITS AND APPROVALS, TEMPORARY EASEMENTS, PERMANENT EASEMENTS AND RIGHT-OF-WAY THAT MAY BE NECESSARY TO CONSTRUCT AND OPERATE IN AN APPROPRIATE LEGAL MANNER, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND HAVE ALL NECESSARY DOCUMENTS IN HAND.
- ALL INITIAL EROSION, SEDIMENTATION AND POLLUTION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS SHOWN ON THE PLANS AND REVEAL ALL FIELD CONDITIONS THAT MAY AFFECT CONSTRUCTION. SHOULD APPARENT DISCREPANCIES OCCUR, CONTRACTOR SHALL NOTIFY THE ENGINEER TO OBTAIN THE ENGINEERS CLARIFICATION BEFORE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL USE ALL NECESSARY SAFETY PRECAUTIONS TO AVOID CONTACT WITH OVERHEAD AND BURIED POWER LINES. BEFORE WORKING WITHIN 10 FEET OF POWER LINES OF 750 VOLTS OR MORE, NOTIFY THE UTILITIES PROTECTION CENTER AT 1-800-282-7411 IN COMPLIANCE WITH GEORGIA HIGH VOLTAGE SAFETY ACT.
- AT THE COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL CLEAN OUT ALL AFFECTED STORM DRAINS AND STRUCTURES WITHIN, OR DIRECTLY IMPACTED BY THE PROJECT LIMITS.
- THE CONTRACTOR SHALL MAKE ALL STREETS FULLY PASSABLE AT THE END OF EACH WORK DAY. OPEN TRENCHES WILL BE PERMITTED OVERNIGHT, WEEKENDS, OR HOLIDAYS.
- ALL SURVEY MARKERS (BOTH VERTICAL AND HORIZONTAL) WITHIN THE GENERAL RIGHT-OF-WAY SHALL BE CONTINUOUSLY PROTECTED. ANY MARKERS DISTURBED OR DAMAGED SHALL BE REPLACED BY A PROFESSIONAL SURVEYOR AND CERTIFIED BY THE GOVERNING MUNICIPALITY/COUNTY/AGENCY PRIOR TO FINAL ACCEPTANCE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SITE SAFETY PROGRAMS/PROCEDURES AND THE IMPLEMENTATION AND COMPLIANCE THEREOF.
- THE CONTRACTOR SHALL PROVIDE THE CONSTRUCTION MEANS, METHODS AND MATERIALS NECESSARY TO PROVIDE COMPLETE AND OPERATIONAL SYSTEMS AS SHOWN IN EXISTING CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL MAINTAIN A CLEAR PATH FOR ALL SURFACE WATER, DRAINAGE STRUCTURES AND DITCHES DURING ALL PHASES OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE EROSION, SEDIMENTATION & POLLUTION CONTROL MEASURES IN ACCORDANCE WITH THE PROJECTS SWP GUIDELINES, AND GEORGIA ENVIRONMENTAL PROTECTION DIVISION CRITERIA. SAID CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED DAILY.

**GENERAL CIVIL PLAN NOTES**

- UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL REPLACE ALL EXISTING PAVING, STRIPED DRIVEWAYS, CURBS, DRIVEWAYS, SIDEWALKS, LANDSCAPING, FENCES, MAILBOXES, IRRIGATION SYSTEMS, SIGNS AND OTHER IMPROVEMENTS DISTURBED BY CONSTRUCTION TO EQUAL OR BETTER THAN PRE-CONSTRUCTION CONDITIONS, AT NO ADDITIONAL COST TO THE OWNER.
- CONSTRUCTION MUST COMPLY WITH THE LATEST MINIMUM ADOPTED STANDARDS FOR ACCESSIBILITY IN THE STATE OF GEORGIA, WHERE APPLICABLE.
- CONSTRUCTION AND MATERIAL WITHIN GOOD RIGHTS-OF-WAY (R/W) SHALL BE IN ACCORDANCE WITH GOOD SPECIFICATIONS, STANDARDS AND POLICIES.
- IT IS THE CONTRACTORS RESPONSIBILITY, PRIOR TO BIDDING, TO INSPECT THE JOB SITE AND BECOME TOTALLY FAMILIAR WITH THE PLANS AND THEIR INTENT. SHOULD THERE BE ANY QUESTIONS, THE CONTRACTOR SHALL INQUIRE FOR CLARIFICATION.
- THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS SHOWN ON THE PLANS AND REVEAL ALL FIELD CONDITIONS THAT MAY AFFECT CONSTRUCTION. SHOULD APPARENT DISCREPANCIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO OBTAIN THE ENGINEERS CLARIFICATION BEFORE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL PROVIDE ALL REQUIRED FILL, CLEAN AND FREE OF ORGANIC MATERIAL, AND OTHER OBJECTIONABLE DEBRIS, FILL NOT MEETING THESE REQUIREMENTS WILL BE OBJECTED TO BE REMOVED AND REPLACED WITH PROPER FILL, AT NO ADDITIONAL COST TO THE OWNER.
- ANY EXISTING UNSUITABLE OR ORGANIC SOIL MATERIAL SHALL BE REMOVED FROM FINAL PAVEMENT AND CURBS.
- THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE FABRICATION OF PROPOSED SITE IMPROVEMENTS. SHOP DRAWINGS SHALL BE CLEARLY MARKED DENOTING THE CONSTRUCTION METHOD FOR REVIEW, WHERE A DEVIATION FROM THE DESIGN IS PROPOSED. THE SHOP DRAWING SHALL HAVE A SPECIFIC NOTE DETAILING THE DEVIATION AND REASON FOR SUCH.
- CONTRACTOR SHALL APPLY PERMANENT SEEDING, MULCH, TEMPORARY SEEDING AND DUST CONTROL. ALL AREAS DISTURBED BY CONSTRUCTION.
- IF ENCOUNTERED, EXISTING SIDEWALK LOCATIONS AND ELEVATIONS SHALL MATCH EXISTING SIDEWALK LOCATIONS AND ELEVATIONS, SUBJECT TO ANY OTHER REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- NO MORE THAN 3" OF FILL SHALL BE PLACED ABOVE EXISTING TREE ROOTS. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER IF NEW GRADING CONFLICTS WITH THE PREVIOUS STATEMENT.
- CONTRACTOR SHALL CONSTRUCT ALL SITE IMPROVEMENTS NECESSARY TO CONSTRUCT PROJECT AS SHOWN IN ENTIRE SET OF CONTRACT DOCUMENTS.
- IF ENCOUNTERED, REPLACED SIDEWALK COMPOSITION SHALL BE MINIMUM 4" THICK, 3000 PSI FIBER REINFORCED.
- SAFCUT ASPHALT AND CONCRETE ALONG EDGE OF ALL ASPHALT AND CONCRETE DEMOLITION AREAS.
- WHERE EXISTING ASPHALT/CONCRETE PAVING IS REMOVED, CONTRACTOR SHALL REPAIR EXISTING PAVING, CURB AND GUTTER AND SIDEWALKS TO MATCH EXISTING THAT ARE DAMAGED DURING DEMOLITION.
- PAVING REMOVAL SHALL INCLUDE PAVING AND BASE.
- ADDITIONAL DEMOLITION, NOT SHOWN IN THESE CIVIL PLANS, MAY BE REQUIRED TO CONSTRUCT IMPROVEMENTS. CONTRACTOR SHALL PERFORM ALL DEMOLITION NECESSARY TO CONSTRUCT PROJECT AS SHOWN IN CONTRACT DOCUMENTS.
- IF ENCOUNTERED, CONTRACTOR SHALL COORDINATE ALL OPEN CUT DRIVEWAYS WITH AFFECTED PROPERTY OWNERS AND REPAIR DRIVEWAYS IN A MANNER APPROVED BY AFFECTED PROPERTY OWNERS AND GOOD.
- CONTRACTOR SHALL STAKEOUT EXISTING RIGHT OF WAY TO ENSURE ALL CONSTRUCTION IS MAINTAINED WITHIN THE EXISTING RIGHT OF WAY.
- EXISTING TREES SHALL ONLY BE REMOVED AS NECESSARY. CONTRACTOR SHALL OBTAIN APPROVAL OF ALL TREE REMOVAL AREAS, FROM THE CITY AND ENGINEER, PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MATCH EXISTING GRASS SPECIES WHEN PROMOVING FINAL PERMANENT GRASSING ON EACH PROPERTY.
- ALL DITCH LINES DISTURBED DURING CONSTRUCTION SHALL BE REGRADDED TO DRAIN.
- PIPE INVERT ELEVATIONS REFERENCE END INVERT OF PIPE DISREGARDING ANY END TREATMENT.
- STRIPING AND SIGNAGE SHALL CONFORM WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND G.O.D.T. STANDARDS.

**GENERAL UTILITY INFORMATION**

- GENERAL CONTRACTOR RESPONSIBILITIES: CONTRACTOR SHALL, IN A TIMELY MANNER, COORDINATE ALL NEW WORK WITH ALL APPLICABLE LOCAL UTILITY SERVICE PROVIDERS. CONTRACTOR SHALL PAY ALL FEES AND VERIFY ALL OTHER REQUIREMENTS HAVE BEEN MET PRIOR TO CONSTRUCTION.

**GENERAL UTILITY INFORMATION**

- THE TOTAL AFFECTED/DISTURBED AREA OF THIS PROJECT IS APPROXIMATELY 0.00 ACRES. SURVEY FIELD WORK WAS COMPLETED ON JUNE 21, 2022.
- THIS PROJECT IS LOCATED THROUGHOUT AREAS OF THE CITY OF LEESBURG, GEORGIA. THE PROJECT SITE AREA ZONING VARIES AND IS CURRENTLY USED AS STREET RIGHTS-OF-WAY, RESIDENTIAL, COMMERCIAL, UNDEVELOPED AREAS AND OPEN SPACE. CONTRACTOR SHALL DETERMINE AND VERIFY ZONING AND SETBACKS WITH LEESBURG, GEORGIA BUILDING AND ZONING DEPARTMENT PRIOR TO CONSTRUCTION ACTIVITIES.
- IF IT IS POSSIBLE THAT THERE ARE RECORDS (DEEDS, UNRECORDED DEEDS, EASEMENTS, OR OTHER INSTRUMENTS NOT SHOWN HEREON) THAT COULD AFFECT THIS PROPERTY, FLOOD INSURANCE RATE MAP, COMADITY NUMBER: 1317023250, DATED SEPTEMBER 2, 2009, SHOWS THE EXISTING LAND AND SURROUNDING AREA TO BE IN ZONE "X" - AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN AND ZONE "X" - SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. THE SITE IS IN LEESBURG, LEE COUNTY, GA.

**LEGEND**

	EXISTING	PROPOSED
EASEMENT	- - - - -	- - - - -
SEWER MANHOLE	⊙	- - - - -
SEWER LINE	- - - - -	- - - - -
WATER LINE	- - - - -	- - - - -
FORCE MAIN	- - - - -	- - - - -
PROPERTY LINE	- - - - -	- - - - -
RIGHT OF WAY	- - - - -	- - - - -
EDGE OF PAVEMENT	- - - - -	- - - - -
DITCH	- - - - -	- - - - -
CONTOUR	- - - - -	- - - - -
SILT FENCE	- - - - -	- - - - -
CEMENTURE	- - - - -	- - - - -
TREE LINE	- - - - -	- - - - -
OVERHEAD POWER	- - - - -	- - - - -
STORM DRAIN INLET	⊙	- - - - -
STORM DRAIN	- - - - -	- - - - -
LIGHT POLE	- - - - -	- - - - -
BUILDING STRUCTURE	- - - - -	- - - - -
CONTROL POINT	⊙	- - - - -
UTILITY POLE/STAY WIRE	- - - - -	- - - - -
FIRE HYDRANT	⊙	- - - - -
WATER VALVE	⊙	- - - - -
WATER METER	⊙	- - - - -
TREE	⊙	- - - - -
PINE TREE	⊙	- - - - -
DAK TREE	⊙	- - - - -
SHRUB	⊙	- - - - -
RON PIN FOUND	⊙	- - - - -
CLEANOUT	⊙	- - - - -
SOIL	⊙	- - - - -
MAILBOX	⊙	- - - - -
TYPED	- - - - -	- - - - -
STORM CULVERT	- - - - -	- - - - -
CONCRETE	- - - - -	- - - - -
DIRT Q/W PATCH	- - - - -	- - - - -
ASPHALT	- - - - -	- - - - -

**ABBREVIATIONS**

CONC = CONCRETE	STA = STATION
EXIST = EXISTING	INV = INVERT
ELEV = ELEVATION	FP = TYPICAL
N = NORTH	SP = SANITARY SEWER
E = EAST	PVC = POLYVINYL CHLORIDE
S = SOUTH	MV = MANHOLE
W = WEST	GRV = GRAVEL
INV = INVERT	ST = STREET
RCP = REINFORCED CONCRETE PIPE	DR = DRIVE
CP = CORRUGATED POLYETHYLENE PIPE	ES&P = EROSION, SEDIMENTATION & POLLUTION CONTROL
CMP = CORRUGATED METAL PIPE	SOM = STORM DRAIN MANHOLE
RP = IRON PIN FOUND	SDW = GEORGIA DEPARTMENT OF TRANSPORTATION
Q/W = DRIVEWAY	
N.T.S = NOT TO SCALE	
FT = FINISHED FLOOR ELEVATION	
DB = DEED BOOK	
TOP = TOP OF CURB	
CONC = CONCRETE	
ASP = ASPHALT	
FEES = FINISHED END SECTION	
STD = STANDARD	
PC = POLYMER CONCRETE	
SY = SQUARE YARD	
L.F. = LINEAR FEET	

**WATER MAIN CONSTRUCTION NOTES**

- FOR BIDDING PURPOSES, AS PART OF THE BASE BID, CONTRACTOR SHALL ANTICIPATE WATER SERVICE LINES FROM NEW WATER MAIN TO EXISTING WATER METER SHALL BE 1", AND IN THE NECESSARY LENGTH, UNLESS OTHERWISE NOTED. PRIOR TO ORDERING MATERIALS AND INSTALLATION OF NEW SERVICE LINES, CONTRACTOR SHALL VERIFY EXISTING SERVICE LINE SIZES AND IMMEDIATELY NOTIFY ENGINEER OF ANY EXISTING SERVICE LINES LARGER THAN 1". CONTRACTOR SHALL COORDINATE WITH ENGINEER TO INSTALL NEW SERVICE LINES TO MATCH ALL EXISTING LINE SIZES THAT ARE LARGER THAN 1".
- AMONGST ALL REMAINING OUT-OF-SERVICE DOMESTIC WATER PIPING AND PLUG ALL OPENINGS IN ABANDONED PIPE. WHERE EXISTING REMAINING OUT-OF-SERVICE WATER PIPING CONFLICTS WITH NEW PIPING, THE CONTRACTOR SHALL REMOVE EXISTING PIPING AS REQUIRED AND PLUG. THE CONTRACTOR MAY SLIGHTLY OFF-SET THE LOCATION FOR THE NEW WATER METER UNDER THE APPROVAL OF THE ENGINEER, OWNER AND GEORGIA DEPARTMENT OF TRANSPORTATION (DOT) DOMESTIC WATER PIPE DEEPER AS REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES OR OBSTRUCTIONS ENCOUNTERED DURING CONSTRUCTION. AT NO ADDITIONAL COSTS TO THE OWNER, REMOVE ALL ABANDONED VALVES, APPROPRIATELY, ETC. INCLUDING CONCRETE COLLARS ENTIRELY.
- ALL NEW PIPE SHALL BE INSTALLED WITH LOCATOR WIRE AND TAPE PER DETAILS AS SHOWN ON THE CONSTRUCTION DETAILS. SHEETS OF THESE PLANS. ALL NEW PIPE AND PVC PIPE SHALL BE INSTALLED WITH PROPER BEDDING AS SPECIFIED IN THESE PLANS. ALL NEW DUCTILE IRON AND RCP PIPE SHALL BE SHEETS OF THESE PLANS. ALL NEW DUCTILE IRON AND RCP PIPE SHALL BE INSTALLED WITH PROPER BEDDING AS SPECIFIED IN GEORGIA DEPARTMENT OF TRANSPORTATION "STANDARD CONCRETE & METAL PIPE QUALITIES" NUMBER 10300. HOWEVER, IMPERFECT BACKFILL SHALL NOT BE ACCEPTABLE.
- NEW WATER LINE SHALL BE LAID A MINIMUM OF 30" BELOW FINISHED GRADE UNLESS OTHERWISE SPECIFIED. WATER MAIN IN GOOD R/W SHALL BE LAID A MINIMUM 24" BELOW FINISHED GRADE. NO ADDITIONAL PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR INSTALLING LINES AT GREATER THAN 18" COVER OVER PIPE.
- WHERE WATER/SANITARY PIPE INSTALLATION, THE CONTRACTOR SHALL IMMEDIATELY BACKFILL THE TRENCH AFTER EACH SECTION OF PIPE IS INSTALLED. MAXIMUM OPEN TRENCH LENGTH SHALL BE 40 FEET.
- PROPER FITTINGS SHALL BE USED AT APPROXIMATE ANGLE CHANGES ON WATER LINE. LONG RADIUS CURVES, EITHER HORIZONTAL OR VERTICAL, MAY BE LAID WITH STANDARDS PIPE DEFLECTIONS. MINIMUM BEND RADIUS FOR ALL JOINTS AND LAPSE JOINTS FOR THE VARIOUS PIPE LENGTHS SHALL NOT EXCEED THE MANUFACTURERS RECOMMENDATIONS.
- ALL EXISTING ROADWAY/PAVEMENT MARKING SHALL REMAIN OR BE REPLACED UNLESS OTHERWISE NOTED.
- PROTECT NEW WATER AND SANITARY SEWER PIPING AS INDICATED IN THESE CONTRACT DOCUMENTS. CONTACT EXISTING LINES TO NEW AS WORK PROGRESSES. EXISTING DOMESTIC WATER SYSTEM AND SANITARY SEWER SYSTEM SHALL REMAIN IN USE DURING THE COURSE OF THE WORK. BEGIN SANITARY SEWER REPLACEMENT AT EXISTING MANHOLES PRIOR TO CONSTRUCTING A PORTION OF THE NEW WATER SYSTEM TO THE EXISTING MAIN. A REPRESENTATIVE FROM THE NEW WATER DEPARTMENT SHALL BE PRESENT TO OBSERVE THE MAIN VALVE SHUTOFF AND OPENING. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID PRESSURIZED WATER PRESSURE SO AS NOT TO BREAK OR BURST EXISTING WATER PIPING.
- EXISTING POWER POLES AND GUY WIRES. THE CONTRACTOR SHALL CONTACT UTILITY OWNER TO DETERMINE REQUIREMENTS FOR THE TEMPORARY REMOVAL AND REINSTALLATION OF GUY WIRES AS REQUIRED.
- CONTRACTOR SHALL JOE NEW WATERLINES AS NECESSARY TO AVOID AND MAINTAIN REQUIRED SEPARATION DISTANCE FROM ALL EXISTING POWER POLES AT NO ADDITIONAL COST TO THE OWNER.
- IF ENCOUNTERED WITHIN THE GOOD RIGHT-OF-WAY, NEW HYDRANTS SHALL BE INSTALLED 1' INSIDE THE EDGE OF RIGHT-OF-WAY.
- WHERE WATER LINES AND OTHER UTILITY LINES CROSS, WATER LINES SHALL BE INSTALLED SUCH THAT THE VERTICAL DISTANCE FROM THE OUTSIDE EDGE OF THE OTHER UTILITY LINE TO THE OUTSIDE EDGE OF THE WATERLINE IS A MINIMUM OF 18" WHILE ALSO MAINTAINING MINIMUM REQUIRED COVER.
- UNLESS NOTED OTHERWISE, GENERALLY WATER LINES SHALL BE INSTALLED ABOVE SEWER LINES. HOWEVER, WHERE WATER LINES ARE INSTALLED BELOW SEWER LINES OR WITH LESS THAN 18" VERTICAL SEPARATION, THEN WATER LINES SHALL BE COVERED WITH ADDITIONAL MEASURES SHALL BE IMPLEMENTED AS REQUIRED BY THE GEORGIA ENVIRONMENTAL PROTECTION DIVISION AT NO ADDITIONAL COST TO THE OWNER.
- CONCRETE THRUST BLOCKING IN ACCORDANCE WITH THE TYPICAL HORIZONTAL THRUST BLOCK DETAIL ON THE CONSTRUCTION DETAILS. SHEETS OF THESE PLANS, SHALL BE CONSTRUCTED AT ALL WATER LINE FITTINGS, HYDRANTS AND TAPPING SHEETPILES, EVEN IF RESTRAINED JOINTS OR JOINTING ARE USED.
- CONTRACTOR SHALL SELECT ALL MANHOLE RINGS & COVERS, WATER VALVES, IRRIGATION VALVES, FIRE HYDRANTS, WATER METERS, CLEAN OUTS, ETC. (AFFECTED BY NEW CONSTRUCTION) TO FINISHED GRADE, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER AND OWNER IF CABLE AND/OR TELEPHONE AND/OR GAS UTILITIES WITHOUT FIRST OBTAINING PERMISSION FROM THE ENGINEER AND UTILITY OWNER.
- ANY PIPE THAT HAS ITS ALIGNMENT, GRADE OR JOINTS DISTURBED AFTER INSTALLATION SHALL BE TAKEN UP AND RE-LAID.
- WATER MAIN SHALL BE BLUE IN COLOR, UNLESS NOTED OTHERWISE.
- SAFCUT ASPHALT AND CONCRETE ALONG EDGE OF ALL ASPHALT AND CONCRETE DEMOLITION AREAS.
- WHERE EXISTING ASPHALT/CONCRETE PAVING IS REMOVED, CONTRACTOR SHALL REPAIR EXISTING PAVING, CURB AND GUTTER AND SIDEWALKS TO MATCH EXISTING THAT ARE DAMAGED DURING DEMOLITION.
- IF ENCOUNTERED, CONTRACTOR SHALL COORDINATE ALL OPEN CUT DRIVEWAYS WITH AFFECTED PROPERTY OWNERS AND REPAIR DRIVEWAYS IN A MANNER APPROVED BY AFFECTED PROPERTY OWNERS AND GOOD.
- ALL PENALTIES, CLAIMS, FEES IMPOSED ON THE OWNER AS A RESULT OF DAMAGE CAUSED BY OR THROUGH THE CONTRACTOR, THEIR EMPLOYEES OR SUBCONTRACTOR SHALL BE PAID BY THE CONTRACTOR.

Revision Date

**STILL WATERS**  
ENGINEERING  
1340 VETERINARY WAY, SUITE 3, LEESBURG, GA 31758-2798 (404) 770-0100  
WWW.STILLWATERS.COM

WATER SYSTEM IMPROVEMENTS  
FOR THE  
CITY OF LEESBURG  
LEE COUNTY, GEORGIA

PRELIMINARY  
NOT FOR  
CONSTRUCTION  
8-18-2023

LEVEL: 4 CLIFIED 2023  
PRO DESIGN: CEC #1389  
DATE: 11/07/2024

Project No. L0505.011 Date: SEPT. 2022  
Scale: AS SHOWN Designed By: C.R.G.  
Sheet No. 1 OF 13 SHEETS



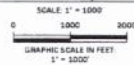
24-HOUR CONTACT INFO  
NAME: RUSS FERGLISON - WASTE WATER SUPERINTENDENT  
ADDRESS: 107 WALNUT AVENUE  
LEE SBURG, GA 31763  
PHONE: 229.750.8465

**GENERAL NOTES, LEGEND & ABBREVIATIONS**





PROJECT LOCATION / VICINITY MAP



**SEDIMENT STORAGE**

The site has a total disturbed area of 1.3 ACRES. The following table summarizes the required and available sediment storage for every cutoff on this project. The Contractor shall provide and maintain the storage volumes for the BMP's specified in this table.

Location	Total Storage Area (sq ft)	Sediment Area (sq ft)	Sediment Volume (cu yd)	Sediment Storage (cu yd)	Sediment Basin		Check Dams (# of / each)	Inlet Sediment Traps (# of / each)	Silt Fence (3.0 yd' / ft)
					Panel #	Total Volume (yd <sup>3</sup> )			
Drainage Basin A	129.38								
Drainage Basin B	1.08								
<b>Total</b>									

NOTE: 0.7 cubic yards of sediment storage per acre of disturbed area must be provided. Sediment storage is to be provided by silt fence and sediment traps. Due to the linear nature of utility construction a sediment basin is not a practical means of sediment storage.

EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST			
INFRASTRUCTURE CONSTRUCTION PROJECTS			
Project Name: <u>Leesburg Water Treatment Plant</u>		Address: <u>STATS ROUTE 16 W HWY 15</u>	
City/County: <u>Leesburg, GA</u>		Date on Plan: <u>SEPTEMBER 1, 2022</u>	
Name & email of person filing and available: <u>Shirley@stillwatersengineering.com</u>			
Revised: <u>2022-08-26</u>			
1	Y	2	Y
3	Y	4	Y
5	Y	6	Y
7	Y	8	Y
9	Y	10	Y
11	Y	12	Y
13	Y	14	Y
15	Y	16	Y
17	Y	18	Y
19	Y	20	Y
21	Y	22	Y
23	Y	24	Y
25	Y	26	Y
27	Y	28	Y
29	Y	30	Y
31	Y	32	Y
33	Y	34	Y
35	Y	36	Y
37	Y	38	Y
39	Y	40	Y
41	Y	42	Y
43	Y	44	Y
45	Y	46	Y
47	Y	48	Y
49	Y	50	Y
51	Y	52	Y
53	Y	54	Y
55	Y	56	Y
57	Y	58	Y
59	Y	60	Y
61	Y	62	Y
63	Y	64	Y
65	Y	66	Y
67	Y	68	Y
69	Y	70	Y
71	Y	72	Y
73	Y	74	Y
75	Y	76	Y
77	Y	78	Y
79	Y	80	Y
81	Y	82	Y
83	Y	84	Y
85	Y	86	Y
87	Y	88	Y
89	Y	90	Y
91	Y	92	Y
93	Y	94	Y
95	Y	96	Y
97	Y	98	Y
99	Y	100	Y

**CONSTRUCTION SCHEDULE (Dates are Approximate)**

ACTIVITY	SEP 2022	OCT 2022	NOV 2022	DEC 2022	JAN 2023	FEB 2023
INITIAL PERIMETER AND SEDIMENT STORAGE BMP'S						
EROSION CONTROL DEVICES						
TEMPORARY VEGETATION CONSTRUCTION						
PERMANENT VEGETATION						
REMOVE TEMP EROSION CONTROL MAINTENANCE OF BMP'S						

**WARM WATER (SUPPORTING WARM WATER FISHERIES)**

Basin - Area A Site Spec. sites	Surface Water Drainage Area square miles									
	0-0.99	1.0-2.99	3.0-4.99	5.0-9.99	10-24.99	25-49.99	50-99.99	100-249.99	250-499.99	500+
1.00-10	75	150	300	400	750	750	750	750	750	750
10.01-25	50	100	100	200	300	500	500	750	750	750
25.01-40	50	50	100	100	300	300	750	750	750	750
40.01-100	50	50	50	100	100	150	300	600	600	600
100.01+	50	50	50	50	50	50	100	200	200	200



24-HOUR CONTACT INFO:  
 NAME: RUSS FERGIUSON - WASTE WATER SUPERINTENDENT  
 ADDRESS: 107 WALNUT AVENUE  
 LEESBURG, GA 31763  
 PHONE: 228.739.6445

**EROSION, SEDIMENTATION & POLLUTION CONTROL NOTES**

Revision Date

**STILL WATERS**  
 ENGINEERING  
 130 VETERINARY WAY UNIT 2, LEESBURG, GA 31763 229.696.9700  
 WWW.STILLWATERENG.COM

**WATER SYSTEM IMPROVEMENTS**  
 FOR THE  
**CITY OF LEESBURG**  
 LEE COUNTY, GEORGIA

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION  
 8/26/2023

LEVEL 1 CERTIFIED DESIGN PROFESSIONAL, CEED #13649 EXPIRES 11/27/2024

Project No. 10005-011 Date: SEPT. 2022  
 Scale: AS SHOWN Designed By: C.S.G.

SHEET # 2 OF 13 SHEETS

**EROSION, SEDIMENTATION & POLLUTION CONTROL NOTES:**

- 1. PROJECT DESCRIPTION - THE PROPOSED PROJECT IS FOR WATER SYSTEM IMPROVEMENTS, WITHIN AN AREA WITH EXISTING LAND USES CONSISTING OF RESIDENTIAL, COMMERCIAL, MUNICIPAL, AND INDUSTRIAL.
2. OWNER - CITY OF LEESBURG
3. PROJECT AREA - 0.00 ACRES
4. DISTURBED AREA - 0.00 ACRES
5. AUTHORITY - THE EROSION PLAN WAS DEVELOPED FOR THIS PROJECT TO ENSURE COMPLIANCE WITH THE GEORGIA EROSION AND SEDIMENTATION ACT AND THE MANUAL FOR EROSION AND SEDIMENT CONTROL...
6. WETLANDS - BASED ON THE USFWS NATIONAL WETLAND INVENTORY MAP IT APPEARS THAT THERE MAY BE WETLANDS LOCATED IN THE PROJECT AREA...
7. STATE WATERS - IT IS POSSIBLE THAT THERE ARE STATE WATERS LOCATED WITHIN 200 FEET OF THE PROJECT AREA...
8. STREAM BUFFERS - NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 50 FOOT UNDISTURBED STREAM BUFFER...
9. INSPECTION BY DESIGN PROFESSIONAL - THE DESIGN PROFESSIONAL WHO PREPARED THE EROSION PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS...
10. PILING MATERIALS - WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE...
11. EROSION AND SEDIMENT CONTROL - MEASURES SHALL BE IMPLEMENTED PRIOR TO LAND DISTURBING ACTIVITIES...
12. TEMPORARY STABILIZATION - ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING...
13. CONCRETE WASHOUT - WASHOUT OF THE DRUMS OF CONCRETE TRUCKS AT THE PROJECT SITE IS PROHIBITED...
14. PETROLEUM STORAGE & SPILLS - ALL PETROLEUM BASED PRODUCTS, FUEL TANKS & VEHICLES OR MACHINERY UTILIZING PETROLEUM BASED PRODUCTS SHALL BE STORED IN AN AREA AS FAR REMOVED AS POSSIBLE FROM STATE WATERS AND NATURAL OR MAN MADE CHANNELS...
15. BIDDING MATERIALS - PLASTIC WEATHERTIGHT AND/OR TEMPORARY ROOFING SHALL BE INSTALLED TO COVER BUILDING MATERIALS...
16. PRACTICES TO REDUCE POLLUTANTS IN STORM WATER DISCHARGE - CONCRETE SEW FEM 17 ABOVE PETROLEUM PRODUCTS...
17. BIDDING MATERIALS - PLASTIC WEATHERTIGHT AND/OR TEMPORARY ROOFING SHALL BE INSTALLED TO COVER BUILDING MATERIALS...
18. PRACTICES TO REDUCE POLLUTANTS IN STORM WATER DISCHARGE - CONCRETE SEW FEM 17 ABOVE PETROLEUM PRODUCTS...
19. BIDDING MATERIALS - PLASTIC WEATHERTIGHT AND/OR TEMPORARY ROOFING SHALL BE INSTALLED TO COVER BUILDING MATERIALS...
20. PRACTICES TO REDUCE POLLUTANTS IN STORM WATER DISCHARGE - CONCRETE SEW FEM 17 ABOVE PETROLEUM PRODUCTS...

**EROSION, SEDIMENTATION & POLLUTION CONTROL NOTES:**

- 21. INSPECTIONS - PERMITTEE REQUIREMENTS
(1) EACH DAY WHEN ANY TYPE OF CONSTRUCTION ACTIVITY HAS TAKEN PLACE AT A PRIMARY PERMITTED SITE...
(2) MEASURE RAINFALL...
(3) CERTIFIED PERSONNEL...
(4) CERTIFIED PERSONNEL...
(5) BASED ON THE RESULTS OF EACH INSPECTION...
(6) A REPORT OF EACH INSPECTION...
(7) INSPECTION FREQUENCY
(8) HOWEVER, WHERE MANUAL AND AUTOMATIC SAMPLING IS POSSIBLE...
(9) SAMPLING BY THE PERMITTEE SHALL OCCUR FOR THE FOLLOWING QUALIFYING EVENTS
(10) FOR EACH AREA OF THE SITE...
(11) IN ADDITION TO (A) ABOVE...
(12) AT THE TIME OF SAMPLING...
(13) WHEN SAMPLING PURSUANT TO (A), (B), OR (C) ABOVE...
(14) EXISTING CONSTRUCTION ACTIVITIES...

**EROSION, SEDIMENTATION & POLLUTION CONTROL NOTES:**

- ADDITIONAL SAMPLING OTHER THAN AS REQUIRED BY (C) ABOVE.
\*NOTE THAT THE PERMITTEE MAY CHOOSE TO MEET THE REQUIREMENTS OF (A) AND (B) ABOVE BY COLLECTING TURBIDITY SAMPLES FROM ANY MAIN FEED THAT REACHES OR EXCEEDS 0.5 INCH AND REPORTING FOR SAMPLING AT ANY TIME OF THE DAY OR WEEK.
22. REPORTING OF SAMPLING RESULTS
(1) THE APPLICABLE PERMITTEES ARE REQUIRED TO SUBMIT THE SAMPLING RESULTS TO THE EPO AT THE ADDRESS SHOWN IN PART 1.0.0.1.C BY THE FIFTEENTH DAY OF THE MONTH FOLLOWING THE MONTHLY NOTIFICATION...
(2) THE RESULTS ANALYSES WERE PERFORMED...
(3) THE RESULTS OF SUCH ANALYSES...
(4) ALL WRITTEN CORRESPONDENCE...
(5) ATTENTION OF RECORDS
(6) A COPY OF ALL NOTICES OF INTENT...
(7) COPIES OF ALL NOTICES OF INTENT...
(8) ANALYTICAL METHODS TO COLLECT & ANALYZE SAMPLES...
(9) SAMPLE CONTAINERS SHOULD BE LABELED PRIOR TO COLLECTING THE SAMPLES...
(10) LARGE MOUND, WELL CLEANED AND RINSED GLASS OR PLASTIC JARS SHOULD BE USED FOR COLLECTING SAMPLES...
(11) MANUAL AUTOMATIC OR RISING STAGE SAMPLING...
(12) SAMPLING AND ANALYSIS OF THE RECEIVING WATERS OR OUTFALLS BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT...

**EROSION, SEDIMENTATION & POLLUTION CONTROL NOTES:**

- SAMPLING POINTS
(1) FOR CONSTRUCTION ACTIVITIES...
(2) THE DOWNSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN DOWNSTREAM OF THE CONFLUENCE...
(3) EXACTLY THE SAMPLE SHOULD BE TAKEN FROM THE HORIZONTAL AND VERTICAL CENTER OF THE RECEIVING WATER(S)...
(4) CARE SHOULD BE TAKEN TO AVOID STIRRING...
(5) THE SAMPLING CONTAINER SHOULD BE HELD SO...
(6) PERMITTEES DO NOT HAVE TO SAMPLE SHELFLOW...
(7) ALL SAMPLING PURSUANT TO THIS PERMIT MUST BE DONE IN SUCH A MANNER AS TO ACCURATELY REFLECT WHETHER THE STORM WATER RUNOFF...
CERTIFICATION STATEMENTS
I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM...
I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATION DESCRIBED HEREIN...
24-HOUR CONTACT INFO: NAME RUSS FERGUSON - WASTE WATER SUPERINTENDENT
ADDRESS 107 WALNUT AVENUE, LEESBURG, GA 31763
PHONE: 729-759-6465
GEORGIA811
www.Georgia811.com
Call before you dig.
PRELIMINARY NOT FOR CONSTRUCTION
LEVEL: 4 CERTIFIED DESIGN PROFESSIONAL, CDR # 15846
EXPIRES: 11/07/2024
Project No: DP065.011 Date: SEPT. 2022
Scale: AS SHOWN Designated By: C.R.G.
SHEET # 3 OF 13 SHEETS

Revision Date
STILL WATERS
WATER SYSTEM IMPROVEMENTS FOR THE CITY OF LEESBURG, GEORGIA
LEE COUNTY, GEORGIA

**EROSION, SEDIMENTATION & POLLUTION CONTROL NOTES**

CLEARING PHASE EROSION CONTROL NOTES:

- 1. A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON THE SITE AT ALL TIMES.
2. PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY...
3. THE DESIGN PROFESSIONAL WHO PREPARED THE EROSION CONTROL PLAN...
4. AFTER APPROVAL OF THE INITIAL EROSION CONTROL...
5. NO SOIL OR ROCK SHALL BE EXPOSED TO THE SUN...
6. ADDITIONAL SILT BARRIERS MUST BE PLACED AS SHOWN...
7. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES...
8. FAILURE TO INSTALL OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES...
9. THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES...

FINAL PHASE EROSION CONTROL NOTES:

- 1. THE FOLLOWING EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING THE FINAL EROSION CONTROL PHASE OF CONSTRUCTION.
2. SEDIMENT SHALL NOT BE WASHED INTO INLETS...
3. MULCH OR TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS...
4. ALL DISTURBED AREAS LEFT MULCHED AFTER 30 DAYS...
5. SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE CHECKED AFTER EACH RAIN EVENT...
6. THE CONSTRUCTION EXT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACK OR FLOW OF MUD...
7. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES...
8. FAILURE TO INSTALL OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES...
9. THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES...
10. UPON COMPLETION OF THE PROJECT AND RECEIPT OF CERTIFICATION OF OCCUPANCY...

GRADING PHASE EROSION CONTROL NOTES:

- 1. THE FOLLOWING EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING THE PRELIMINARY GRADING PHASE OF CONSTRUCTION.
2. DURING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN CAREFUL SCHEDULING AND PERFORMANCE...
3. EARTHWORK OPERATIONS IN THE VICINITY OF STRAINS BEFORE SHALL BE CAREFULLY CONTROLLED...
4. SEDIMENT SHALL NOT BE WASHED INTO INLETS...
5. EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY AFTER GRADING DISTURBANCE OCCURS...
6. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES...
7. TYPE 'A' SILT FENCE SHOULD BE INSTALLED AT THE TOP OF ALL FILL SLOPES...
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING BARRIERS AT THE TOP OF SLOPES...
9. TYPE 'A' SILT FENCE SHALL BE PLACED AT THE TOP OF ALL DIRT STORM PILE AREAS...
10. ALL DRAINAGE SWALES SHALL BE APPLIED WITH VEGETATIVE COVER...
11. ALL GRADABLE AREAS SHALL BE APPLIED WITH VEGETATIVE COVER...
12. MULCH OR TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS...
13. ALL DISTURBED AREAS LEFT MULCHED AFTER 30 DAYS...
14. SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE CHECKED AFTER EACH RAIN EVENT...
15. FAILURE TO INSTALL OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES...
16. THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES...

PERMIT COVERAGE:

- 1. ALL DISCHARGES OF STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY...
2. ALL DISCHARGES COVERED BY THIS PERMIT SHALL BE COMPOSED ENTIRELY OF STORMWATER...
3. AUTHORIZED NONSTORMWATER DISCHARGES...
4. AUTHORIZED NONSTORMWATER DISCHARGES INCLUDE...
5. LIMITATIONS ON COVERAGE PART I.E.3.
6. THE FOLLOWING STORMWATER DISCHARGES FROM CONSTRUCTION SITES ARE NOT AUTHORIZED BY THIS PERMIT...
7. STORMWATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY...
8. DISCHARGES THAT ARE MIXED WITH SOURCES OF NONSTORMWATER...
9. WHERE A RELEASE CONTAINS A HAZARDOUS SUBSTANCE...
10. THIS PERMIT DOES NOT AUTHORIZE THE DISCHARGE OF HAZARDOUS SUBSTANCES OR OIL...

GENERAL NOTES:

- 1. AFTER CONSTRUCTION, EROSION AND SEDIMENTATION WILL BE MANAGED BY STABILIZED GROUND...
2. MINIMIZING WIND EROSION AND CONTROLLING DUST WILL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:
A. COVERING SOIL OR MOISTURE OF THE SOIL SURFACE WITH NONERODIBLE MATERIAL...
B. ROUGHENING THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND...
C. FREQUENT WATERING OF EXPOSED AREAS...
D. PROVIDING GRAVEL OR PAVING AT ENTRANCE / EXIT DRIVES

SURVEY INFORMATION:

SURVEY INFORMATION SURVEY FIELD WORK WAS COMPLETED ON JUNE 21, 2022. BY WELLSTON ASSOCIATES LAND SURVEYORS, LLC

FLOOD PLAIN INFORMATION:

FLOOD INSURANCE RATE MAP, RANDOLPH COUNTY, GEORGIA AND INCORPORATED AREAS, MAP NUMBER 131700230 DATED SEPTEMBER 02, 2009, SHOWS THE EXISTING LAND AND SURROUNDING AREA TO BE IN ZONE X-1 AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN AND ZONE X-1 SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD.

PRIMARY PERMITEE / 24 HOUR CONTACT INFO

NOTE: THIS SHALL BE COMPLETED AND SIGNED BY PRIMARY PERMITEE.

NAME: PHONE:
COMPANY: FAX:
ADDRESS:
ADDRESS: SIGNATURE

DESIGN PROFESSIONAL 7-DAY VISIT CERTIFICATION:

DATE OF INSPECTION: I CERTIFY THE SITE WAS IN COMPLIANCE WITH THE ESACP PLAN ON THE DATE OF INSPECTION.

INSPECTION REVEALED THE FOLLOWING DISCREPANCIES FROM THE ESACP PLAN:
1. THE DESIGN PROFESSIONAL WHO PREPARED THE EROSION CONTROL PLAN IS TO INSPECT THE INSTALLATION...
2. THESE DISCREPANCIES MUST BE ADDRESSED IMMEDIATELY AND A RE-INSPECTION SCHEDULED...

SEEDING RATES FOR TEMPORARY SEEDING
SPECIES RATE PER 1,000 SQ. FT. RATE PER ACRE PLANTING DATES\*\*
Bryce 3.0 pounds 2 bu. Sep. 1 - Mar. 1
Hydrangea 0.8 pounds 40 bu. Aug. 15 - Apr. 1
Annual Lupinus 0.9 pounds 40 bu. Jun. 15 - Mar. 15
Weeping Lovegrass 0.3 pounds 4 bu. Feb. 15 - Jun. 15
Suaeda 1.4 pounds 60 bu. Mar. 1 - Aug. 1
Suaeda Millet 0.9 pounds 40 bu. Apr. 1 - Jul. 15
Wheat 4.5 pounds 3 bu. Sep. 15 - Feb. 1

SEEDING RATES FOR PERMANENT SEEDING
SPECIES RATE PER 1,000 SQ. FT. RATE PER ACRE PLANTING DATES\*\*
Barnum 1.4 pounds 60 bu. Jan. 1 - Oct. 31
Bernuda 0.2 pounds 10 bu. Feb. 15 - Jul. 1
Centopede Buck Sod Only Buck Sod Only Apr. 1 - Jul. 1
Lupinus 1.7 pounds 75 bu. Jan. 1 - Oct. 31
Weeping Lovegrass 0.3 pounds 4 bu. Apr. 1 - Jun. 15
Switch Grass 0.9 pounds 40 bu. Mar. 15 - Jun. 1

FERTILIZER REQUIREMENTS
Type of Species Planting Year Fertilizer (N-P-K) Rate (lbs./acre) Nitrogen Top Dressing Rate (lbs./acre)
Cool Season Grasses First Second Maintenance 6-12-12 1800 1000 80-100
Warm Season Grasses First Second Maintenance 6-12-12 1800 800 50-100

Revision Date

STILL WATERS
FOR THE CITY OF LEESBURG
LEE COUNTY, GEORGIA

WATER SYSTEM IMPROVEMENTS
FOR THE CITY OF LEESBURG
LEE COUNTY, GEORGIA

PROBATIONARY
REGISTERED PROFESSIONAL ENGINEER
FOR CONSTRUCTION
STATE OF GEORGIA

Project No. 15055.011 Date: SEPT. 2022
Scale: AS SHOWN Designed by: C.R.G.

SHEET # 4 OF 13 SHEETS

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24-HOUR CONTACT INFO:
NAME: RUSS FERGUSON - WASTE WATER SUPERINTENDENT
ADDRESS: 107 WALNUT AVENUE, LEESBURG, GA 31763
PHONE: 229.759.6465

EROSION, SEDIMENTATION & POLLUTION CONTROL NOTES

**GEORGIA  
UNIFORM CODING SYSTEM**  
FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES  
GEORGIA SOIL AND WATER CONSERVATION COMMISSION  
**INITIAL EROSION CONTROL MEASURES  
STRUCTURAL PRACTICES**

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Sd1	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. It may be sandbags, bales of straw or hay, brush, logs and poles, gravel, or a silt fence.
Cd	CHECKDAM			A small temporary barrier or dam constructed across a small drainage ditch or area of concentrated flow.
Cc	CONSTRUCTION LIFT			A crushed stone wall located at the construction site exit to provide a place for removing mud from tires moving pasturing public streets.

**GEORGIA  
UNIFORM CODING SYSTEM**  
FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES  
GEORGIA SOIL AND WATER CONSERVATION COMMISSION  
**INTERMEDIATE EROSION CONTROL MEASURES  
STRUCTURAL PRACTICES**

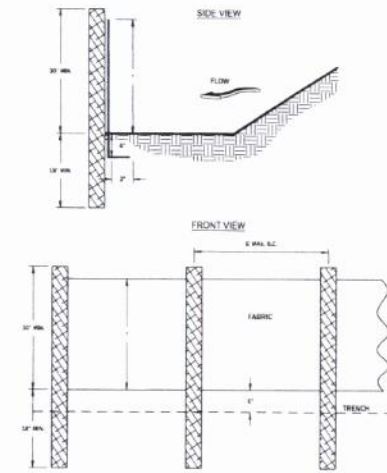
CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Sd1	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. It may be sandbags, bales of straw or hay, brush, logs and poles, gravel, or a silt fence.
Cd	CHECKDAM			A small temporary barrier or dam constructed across a small drainage ditch or area of concentrated flow.
Fr	FILTER RING			A temporary stone barrier constructed at storm drain inlets and pump outlets.

**VEGETATIVE PRACTICES**

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Ds1	DEVELOPED AREA STABILIZATION WITH MULCHING ONLY			Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing medium to produce an erosion retaining cover.
Ds2	DEVELOPED AREA STABILIZATION WITH MULCHING AND SEEDING			Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
Ds3	DEVELOPED AREA STABILIZATION WITH PERMANENT VEGETATION			Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, or legumes on disturbed areas.
Du	DUST CONTROL ON DISTURBED AREAS			Controlling surface and air movement of dust on construction site roadways and similar sites.

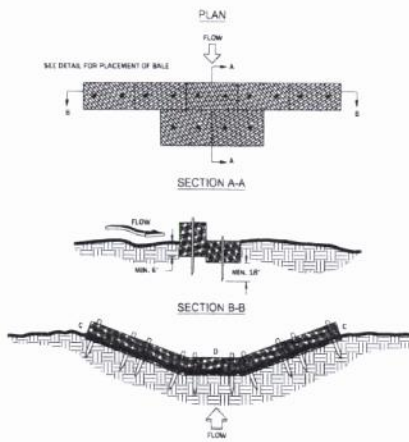
**GEORGIA  
UNIFORM CODING SYSTEM**  
FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES  
GEORGIA SOIL AND WATER CONSERVATION COMMISSION  
**FINAL EROSION CONTROL MEASURES  
VEGETATIVE PRACTICES**

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Ds3	DEVELOPED AREA STABILIZATION WITH PERMANENT VEGETATION			Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, or legumes on disturbed areas.



**NOTES:**  
1. USE STEEL OR WOOD POSTS OF AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.  
2. HEIGHT (H) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

**Sd1-NS SILT FENCE "TYPE NON-SENSITIVE"**



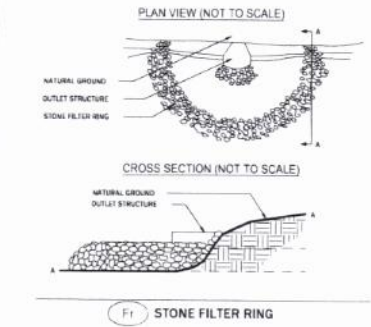
**NOTES:**  
1. BALES SHOULD BE BOUND WITH WIRE OR NYLON STRING AND SHOULD BE PLACED IN ROWS WITH BALE ENDS TOUCHING THE ADJACENT BALES.  
2. REMOVE AS SOON AS AFTER STRAW BALE DAM NO LONGER IN PLACE.  
3. POINT C OF SECTION B-B SHOULD ALWAYS BE HIGHER THAN POINT D.

**Cd TYPICAL STRAW BALE CHECK DAM DETAIL**

**DEFINITION:**  
Controlling surface and air movement of dust on construction sites, roads and driveways, etc.

**CONDITIONS:**  
This practice is applicable to areas exposed to surface and air movement of dust which is an off-site discharge from soil erosion activities.

**METHODS AND MATERIALS:**  
**A. TEMPORARY METHODS:**  
Mulch - See standard Ds1 - Disturbed Area Stabilization (With Mulching Only). Straw bales may be used instead of mulch to control erosion. Refer to standard Ds3 - Disturbed Area Stabilization (With Permanent Vegetation) for details on use of straw bales. Mulch should be applied according to manufacturer's recommendations.  
Vegetative Cover - See standard Ds3 - Disturbed Area Stabilization (With Permanent Vegetation).  
Erosion Control Mats - These are used on erosion control activities on roadways, keep traffic off these areas. Refer to standard Ds3 - Disturbed Area Stabilization (With Permanent Vegetation).  
Erosion Control Blankets - These are used on erosion control activities on roadways, keep traffic off these areas. Refer to standard Ds3 - Disturbed Area Stabilization (With Permanent Vegetation).  
Erosion Control Mats - These are used on erosion control activities on roadways, keep traffic off these areas. Refer to standard Ds3 - Disturbed Area Stabilization (With Permanent Vegetation).  
Erosion Control Blankets - These are used on erosion control activities on roadways, keep traffic off these areas. Refer to standard Ds3 - Disturbed Area Stabilization (With Permanent Vegetation).  
**B. PERMANENT METHODS:**  
Permanent Vegetation - See standard Ds3 - Disturbed Area Stabilization (With Permanent Vegetation). Erosion control mats should be used on erosion control activities on roadways, keep traffic off these areas. Refer to standard Ds3 - Disturbed Area Stabilization (With Permanent Vegetation).  
Erosion Control Blankets - These are used on erosion control activities on roadways, keep traffic off these areas. Refer to standard Ds3 - Disturbed Area Stabilization (With Permanent Vegetation).  
Erosion Control Mats - These are used on erosion control activities on roadways, keep traffic off these areas. Refer to standard Ds3 - Disturbed Area Stabilization (With Permanent Vegetation).  
Erosion Control Blankets - These are used on erosion control activities on roadways, keep traffic off these areas. Refer to standard Ds3 - Disturbed Area Stabilization (With Permanent Vegetation).  
**Fr** STONE FILTER RING



**DEFINITION:**  
Applying plant mulches or other suitable materials, produced on the site (parallel to the soil surface).

**CONDITIONS:**  
Mulch or temporary grasses shall be applied to all exposed areas within 14 days of disturbance. Mulch can be used as a vegetative erosion control device for up to six months, but it shall be applied at the appropriate depth depending on the material used, anchored, and have a continuous 10% slope or greater at the soil surface. Maintenance shall be required to maintain appropriate depth and fit's cover. Temporary vegetation may be employed instead of mulch if the area will remain undisturbed for longer than six months. If an area will remain undisturbed for longer than six months, permanent vegetative techniques shall be employed.

**SPECIFICATIONS:**  
**MULCHING WITHOUT SEEDING:**  
This standard applies to grades or classes areas where seedlings may not have a suitable growing medium to produce an erosion retaining cover, but can be replaced with a mulch cover.  
**Site Preparation:**  
1. Grade to permit the use of equipment for spreading and seeding mulch.  
2. Install needed erosion control measures as required such as ditches, diversions, berms, terraces and sediment basins.  
3. Loosest compact soil to a minimum depth of 2 inches.  
**Mulching Materials:**  
Select one of the following materials and apply at the depth indicated:  
1. Dry straw or hay shall be applied at a depth of 2 to 4 inches providing complete soil coverage. One advantage of this material is ease application.  
2. Wood mulch (chips, sawdust or bark) shall be applied at a depth of 2 to 3 inches. Organic mulches from the clearing or age of development should not be used, be cleaned and applied as mulch. This method of mulching can greatly reduce erosion control costs.  
3. Cellulose mulch (sawdust) shall be applied at 1000 gallons per acre for 1/2 gallon per sq ft.  
4. Polyethylene film shall be secured over banks or eroded soil material for temporary protection. This material can be salvaged and reused.  
**Applying Mulch:**  
When mulch is used without seeding, mulch shall be applied to provide full coverage of the exposed area.  
1. Dry straw or hay shall be applied and mulch shall be applied uniformly to bank or by mechanical equipment.  
2. If the area will eventually be covered with permanent vegetation, 20-30 pounds of nitrogen per acre in addition to the normal amount shall be applied to offset the nitrogen loss caused by the decomposition of the organic mulch.  
3. Cellulose mulch shall be applied uniformly. Care should be taken to avoid or minimize traffic due to problems of tracking or or damage to stems, clothing, etc.  
4. Apply polyethylene film on eroded areas.  
**Anchoring Mulch:**  
1. Straw or hay mulch can be provided into the soil with a disk harrow with the disk set straight or with a special "pencil" disk. Disks may be spaced or adjusted and should be 10 inches or more in diameter and 8 to 12 inches apart. The edges of the disk should be dull enough not to cut the mulch, but to press it into the soil forming much of it an anchor position. Straws or hay mulch shall be anchored immediately.  
2. Other application: Straw or hay may be applied with special harrow-type equipment may be anchored with erosion control blankets. Refer to standard Ds3 - Disturbed Area Stabilization (With Permanent Vegetation) for details on use of straw bales. Mulch should be applied according to manufacturer's specifications.  
3. Netting of the appropriate size shall be used to anchor wood mulch. Openings in the netting shall not be larger than the average base of the wood mulch chips.  
4. Polyethylene film shall be secured to the top as well as to the bottom as necessary.

**Ds1 DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)**

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**24-HOUR CONTACT INFO:**  
NAME: RUSS FERGUSON - WASTE WATER SUPERINTENDENT  
ADDRESS: 107 WALNUT AVENUE  
LEESBURG, GA 31763  
PHONE: 229-759-6465

Revision \_\_\_\_\_ Date \_\_\_\_\_

**STILL WATERS**  
ENGINEERING  
150 VETERANS WAY UNIT 2, LEESBURG, GA 31763 229-484-9700  
WWW.STILLWATERENGINEERING.COM

**WATER SYSTEM IMPROVEMENTS  
FOR THE  
CITY OF LEESBURG  
LEE COUNTY, GEORGIA**

**PRELIMINARY  
NOT FOR  
CONSTRUCTION  
8/15/2023**

LEVEL 1 CERTIFIED DESIGN PROFESSIONAL, CDT # 3688  
EXPIRES 11/07/2024

Project No. 10505-011 Date: SEPT. 2022  
Scale: AS SHOWN Designed By: C.R.G.

SHEET # 5 OF 13 SHEETS

**EROSION, SEDIMENTATION & POLLUTION CONTROL DETAILS**

**EROSION CONTROL NOTES:**

1. NON-ESSENTIAL ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WHEATED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
2. WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
3. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
4. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
5. AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN ENGINEER.
6. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

**GENERAL WATER MAIN CONSTRUCTION NOTES:**

1. CONTRACTOR SHALL REMOVE TREES ONLY AS NECESSARY. ANY AREA IN QUESTION SHALL BE APPROVED BY OWNER PRIOR TO REMOVAL.
2. ALL DITCH LINES DISTURBED DURING CONSTRUCTION SHALL BE REGRADDED TO GRADE.
3. CONTRACTOR SHALL HAVE THE POWER COMPANY HOLD POWER POLES DURING WATER MAIN CONSTRUCTION AS NECESSARY.
4. ALL CONCRETE, ASPHALT AND GRAVEL DRIVEWAYS TO BE REPLACED TO ORIGINAL CONDITION PRIOR TO CONSTRUCTION. ALL DRIVEWAYS TO REMAIN OPEN DURING CONSTRUCTION.
5. WATER MAINS TO BE PRESSURE TESTED, STERILIZED AND SHOWN FREE OF FECAL COLIFORM BY TESTING LABORATORY BEFORE PLACING BACK INTO SERVICE.
6. WHERE WATER LINES AND OTHER UTILITY LINES CROSS, WATER LINES SHALL BE INSTALLED SUCH THAT THE VERTICAL DISTANCE FROM THE OUTSIDE EDGE OF THE OTHER UTILITY LINE TO THE OUTSIDE EDGE OF THE WATERLINE IS A MINIMUM OF 18" WHILE ALSO MAINTAINING MINIMUM REQUIRED COVER. UNLESS NOTED OTHERWISE, GENERALLY WATER LINES SHALL BE INSTALLED ABOVE SEWER LINES, HOWEVER, WHERE WATER LINES ARE INSTALLED BELOW SEWER LINES ADDITIONAL MEASURES SHALL BE IMPLEMENTED AS REQUIRED BY THE GEORGIA ENVIRONMENTAL PROTECTION DIVISION, AT NO ADDITIONAL COSTS TO THE OWNER.
7. EXISTING WATER MAINS SHALL BE PLUGGED AND DISCONNECTED IN THE PRESENCE OF ENGINEER OR CITY PERSONNEL.
8. ALL VALVES TO BE AT FINISHED GRADE.

PROJECT AREA = 0.00 ACRES  
DISTURBED AREA = 0.00 ACRES

Revision Date

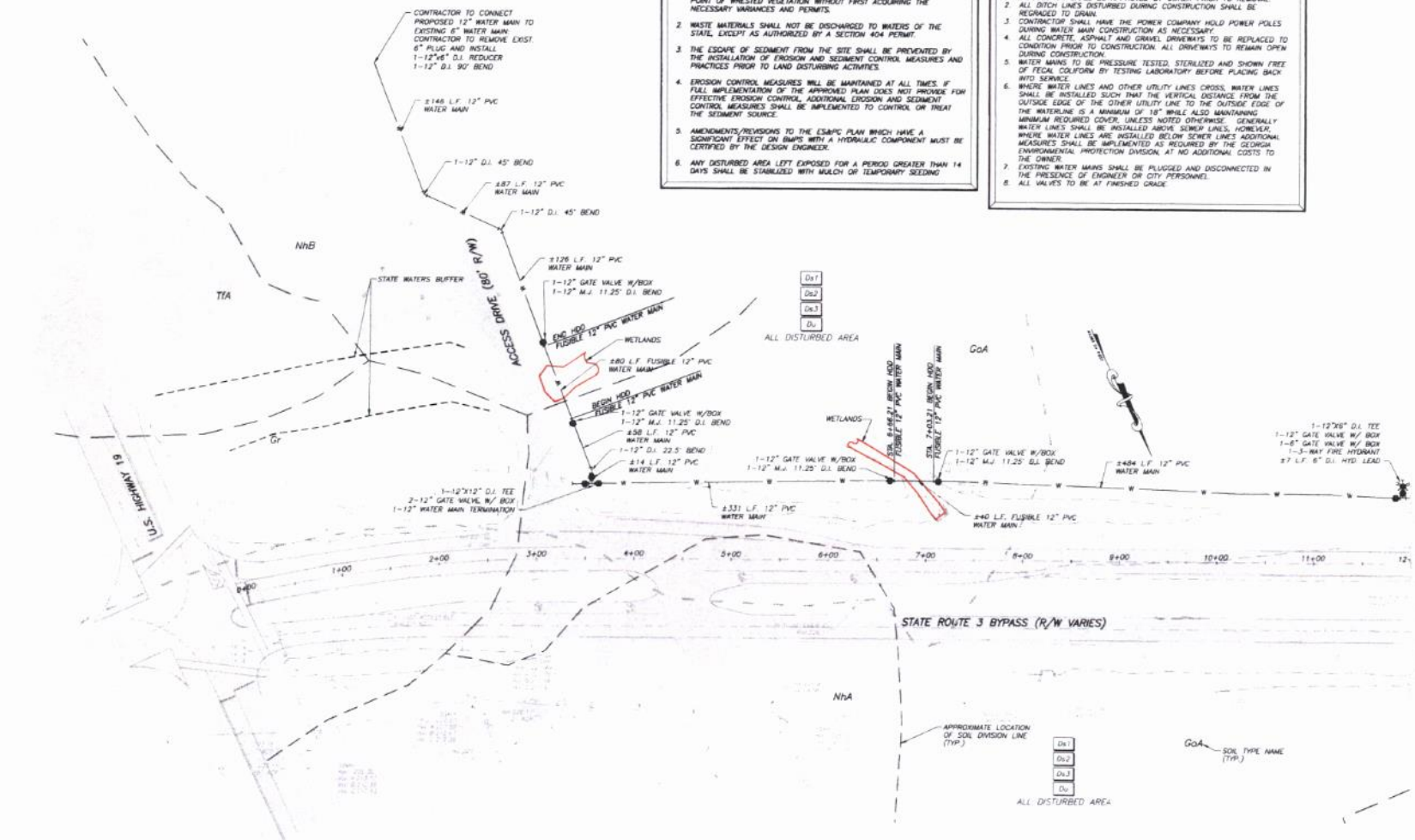
**STILL WATERS**  
ENGINEERING  
1301 FETTERHART WAY, UNIT 2, LITTLEBURG, GA 31762, 229.486.8100  
WWW.STILLWATERSENGINEERING.COM

**WATER SYSTEM IMPROVEMENTS**  
FOR THE  
**CITY OF LEESBURG**  
LEE COUNTY, GEORGIA

**PROHIBIT**  
**NOT FOR**  
**CONSTRUCTION**  
8/18/2023

LVS, a CERTIFIED DESIGN PROFESSIONAL, CDR #1368  
EXPIRES: 11/03/2024  
Project No. L9509.014 Date: SEPT 2023  
Scale: AS SHOWN Designed By: C.R.G.

SHEET #  
**6**  
OF 13 SHEETS



**SOIL INFORMATION**

MAP UNIT SYMBOL	MAP UNIT NAMES
Gr	Grass soils
GA	Crosshatch symbol used 0 to 2 percent slopes
HA	Northak heavy sand, 0 to 2 percent slopes
HB	Northak heavy sand, 2 to 5 percent slopes
HC	Other heavy sand, 0 to 2 percent slopes



**GEORGIA811**  
www.Georgia811.com  
Have your's below.  
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24-HOUR CONTACT INFO:  
NAME: RUSS FERGUSON - WASTE WATER SUPERINTENDENT  
ADDRESS: 107 WALNUT AVENUE  
LEEBSURG, GA 31763  
PHONE: 229.759.8446

**WATER MAIN IMPROVEMENTS**

PROJECT AREA = 0.00 ACRES  
DISTURBED AREA = 0.00 ACRES

Revision Date

**STILL WATERS**  
ENGINEERING  
1301 IFFERTMAN  
WWW.STILLWATERSENG.COM

**WATER SYSTEM IMPROVEMENTS**  
FOR THE  
**CITY OF LEESBURG**  
LEE COUNTY, GEORGIA

**PROHIBITORY**  
**NOT FOR**  
**CONSTRUCTION**  
8/15/2023

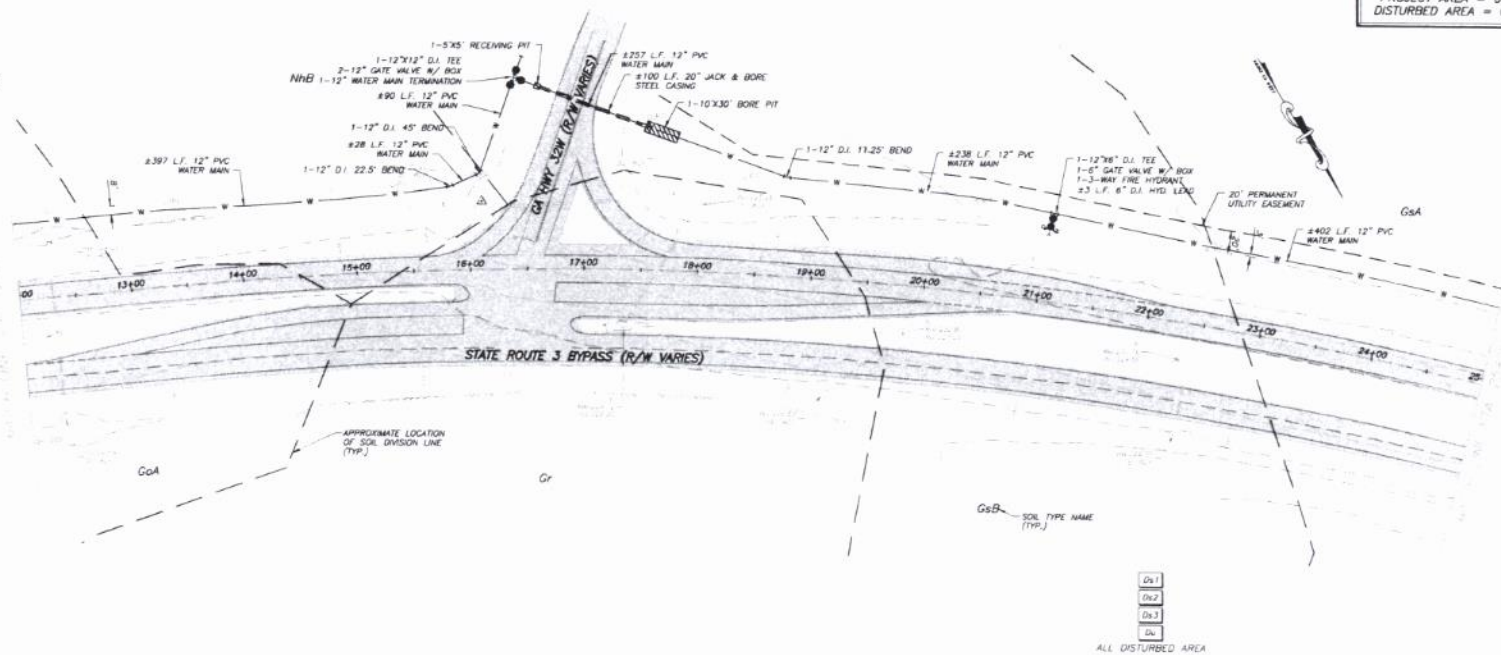
LEED CERTIFIED DESIGN  
PROFESSIONAL SEAL #12684  
EXPIRES 11/07/2024

Project No. Date  
LE805-013 8/17/2022  
Scale Designed By  
AS SHOWN C.B.G.

SHEET #  
**7**  
OF 13 SHEETS

Ds1  
Ds2  
Ds3  
Ds4

ALL DISTURBED AREA



Ds1  
Ds2  
Ds3  
Ds4

ALL DISTURBED AREA

**EROSION CONTROL NOTES:**

1. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY PERMITS AND POINTS.
2. WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
3. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
4. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
5. AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN ENGINEER.
6. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

**GENERAL WATER MAIN CONSTRUCTION NOTES:**

1. CONTRACTOR SHALL REMOVE TREES ONLY AS NECESSARY. ANY AREA IN QUESTION SHALL BE APPROVED BY OWNER PRIOR TO REMOVAL.
2. ALL DITCH LINES DISTURBED DURING CONSTRUCTION SHALL BE REGRADED TO DRAIN.
3. CONTRACTOR SHALL HAVE THE POWER COMPANY HOLD POWER POLES DURING WATER MAIN CONSTRUCTION AS NECESSARY.
4. ALL CONCRETE, ASPHALT AND GRAVEL DRIVEWAYS TO BE REPLACED TO CONDITION PRIOR TO CONSTRUCTION. ALL DRIVEWAYS TO REMAIN OPEN DURING CONSTRUCTION.
5. WATER MAINS TO BE PRESSURE TESTED, STERILIZED AND SHOWN FREE OF FECA, COLIFORM BY TESTING LABORATORY BEFORE PLACING BACK INTO SERVICE.
6. WHERE WATER LINES AND OTHER UTILITY LINES CROSS, WATER LINES SHALL BE INSTALLED SUCH THAT THE VERTICAL DISTANCE FROM THE OUTSIDE EDGE OF THE OTHER UTILITY LINE TO THE OUTSIDE EDGE OF THE WATERLINE IS A MINIMUM OF 18" WHILE ALSO MAINTAINING MINIMUM REQUIRED COVER, UNLESS NOTED OTHERWISE. GENERALLY WATER LINES SHALL BE INSTALLED ABOVE SEWER LINES. HOWEVER, WHERE WATER LINES ARE INSTALLED BELOW SEWER LINES, ADDITIONAL MEASURES SHALL BE IMPLEMENTED AS REQUIRED BY THE GEORGIA ENVIRONMENTAL PROTECTION DIVISION, AT NO ADDITIONAL COSTS TO THE OWNER.
7. EXISTING WATER MAINS SHALL BE PLUGGED AND DISCONNECTED IN THE PRESENCE OF ENGINEER OR CITY PERSONNEL.
8. ALL VALVES TO BE AT FINISHED GRADE.

SOIL INFORMATION	
MAP UNIT SYMBOL	MAP UNIT NAMES
U	Grass area
Gs1	Coarse loam sand, 0 to 2 percent slopes
Gs2	Coarse loam sand, 0 to 2 percent slopes
Gs3	Coarse loam sand, 2 to 3 percent slopes
Gs4	Coarse loam sand, 2 to 3 percent slopes



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24-HOUR CONTACT INFO:  
NAME: RUSS FERGUSON - WASTE WATER SUPERINTENDENT  
ADDRESS: 107 WALNUT AVENUE  
LEESBURG, GA 31763  
PHONE: 229.758.8485

**WATER MAIN IMPROVEMENTS**

PROJECT AREA = 0.00 ACRES  
DISTURBED AREA = 0.00 ACRES

Revision	Date

**STILL WATERS**  
ENGINEERING

130 VETERINARY HWY UNIT 2, LEESBURG, GA 31763-2094  
WWW.STILLWATERSINC.COM

**WATER SYSTEM IMPROVEMENTS  
FOR THE  
CITY OF LEESBURG  
LEE COUNTY, GEORGIA**

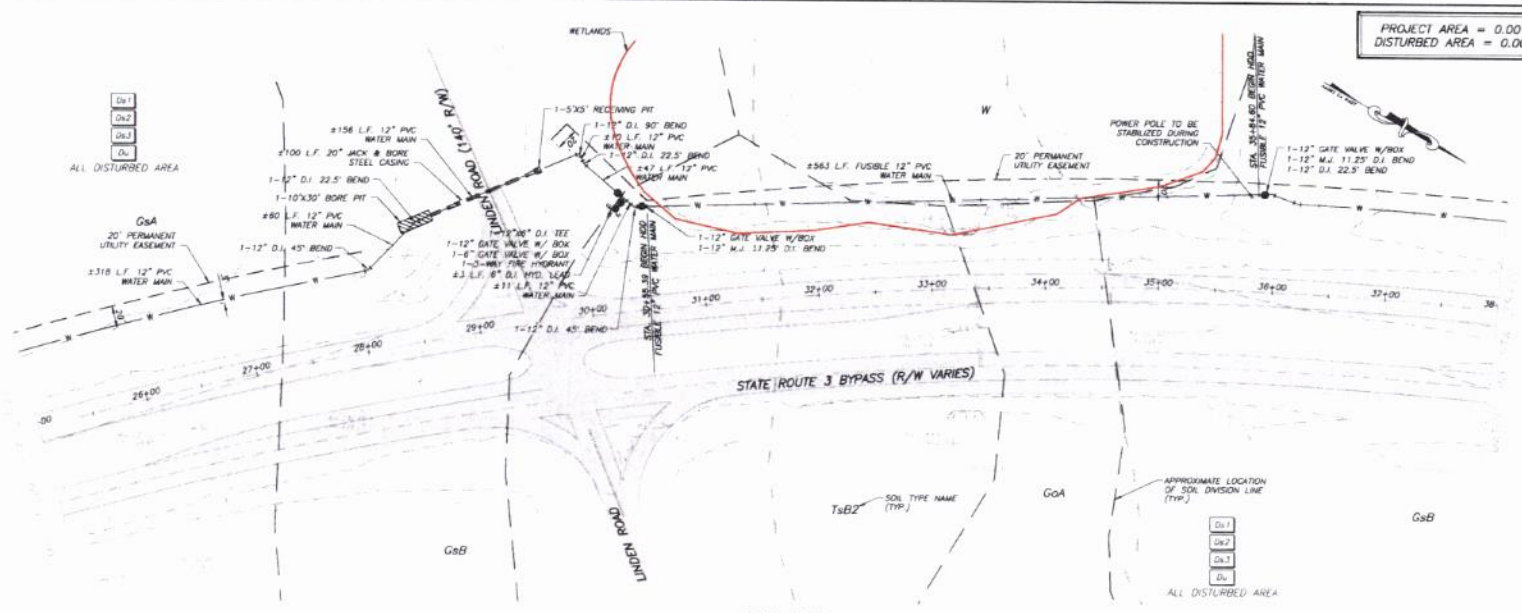
**PROHIBITORY  
NOT FOR  
CONSTRUCTION  
8/18/2023**

LDG, a CERTIFIED DESIGN PROFESSIONAL, CEC # 13849  
EXPIRES 11/07/2024

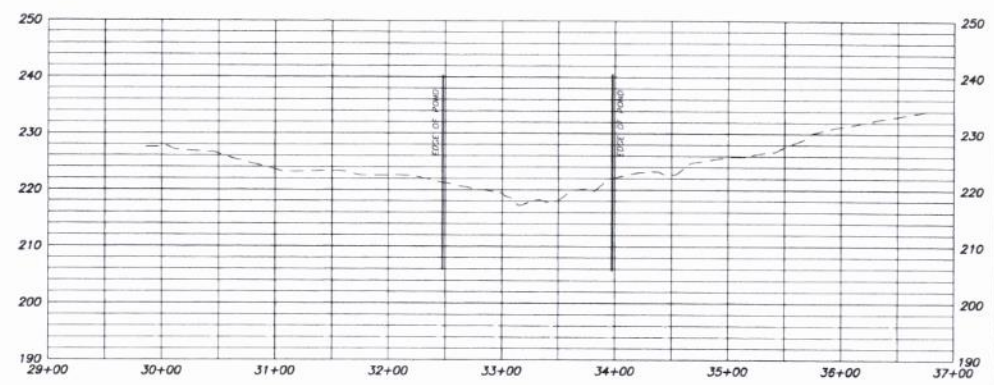
Project No. Date  
L0905.011 SEPT 2022

Scale Drawn By  
AS SHOWN C.R.G.

SHEET #  
**8**  
OF 13 SHEETS



**PLAN VIEW**  
GRAPHIC SCALE IN FEET  
1" = 50'



**PROFILE VIEW**  
HORIZONTAL GRAPHIC SCALE IN FEET 1" = 50'  
VERTICAL GRAPHIC SCALE IN FEET 1" = 10'

- GENERAL WATER MAIN CONSTRUCTION NOTES:**
- CONTRACTOR SHALL REMOVE TREES ONLY AS NECESSARY ANY AREA IN QUESTION SHALL BE APPROVED BY OWNER PRIOR TO REMOVAL.
  - ALL DITCH LINES DISTURBED DURING CONSTRUCTION SHALL BE REGRADED TO GRADE.
  - CONTRACTOR SHALL HAVE THE POWER COMPANY HOLD POWER POLES DURING WATER MAIN CONSTRUCTION AS NECESSARY.
  - ALL CONCRETE, ASPHALT AND GRAVEL DRIVEWAYS TO BE REPLACED TO CONDITION PRIOR TO CONSTRUCTION ALL DRIVEWAYS TO REMAIN OPEN DURING CONSTRUCTION.
  - WATER MAINS TO BE PRESSURE TESTED, STERILIZED AND SHOWN FREE OF FEEL, CONFORM BY TESTING LABORATORY BEFORE PLACING BACK INTO SERVICE.
  - WHERE WATER LINES AND OTHER UTILITY LINES CROSS, WATER LINES SHALL BE INSTALLED SUCH THAT THE VERTICAL DISTANCE FROM THE OUTSIDE EDGE OF THE OTHER UTILITY LINE TO THE OUTSIDE EDGE OF THE WATERLINE IS A MINIMUM OF 18" WHILE ALSO MAINTAINING MINIMUM REQUIRED COVER, UNLESS NOTED OTHERWISE. GENERALLY WATER LINES SHALL BE INSTALLED ABOVE SEWER LINES, HOWEVER, WHERE WATER LINES ARE INSTALLED BELOW SEWER LINES, ADDITIONAL MEASURES SHALL BE IMPLEMENTED AS REQUIRED BY THE GEORGIA ENVIRONMENTAL PROTECTION DIVISION AT NO ADDITIONAL COSTS TO THE OWNER.
  - EXISTING WATER MAINS SHALL BE PLUGGED AND DISCONNECTED IN THE PRESENCE OF ENGINEER OR CITY PERSONNEL.
  - ALL VALVES TO BE AT FINISHED GRADE.

**SOIL INFORMATION**

MAP UNIT SYMBOL	MAP UNIT NAMES
GsA	Greenish sandy loam, 0 to 2 percent slopes
GsB	Greenish sandy loam, 2 to 3 percent slopes
GsC	Clayey sandy loam, 0 to 2 percent slopes
TsBZ	Thin sandy loam, 2 to 5 percent slopes, moderately eroded

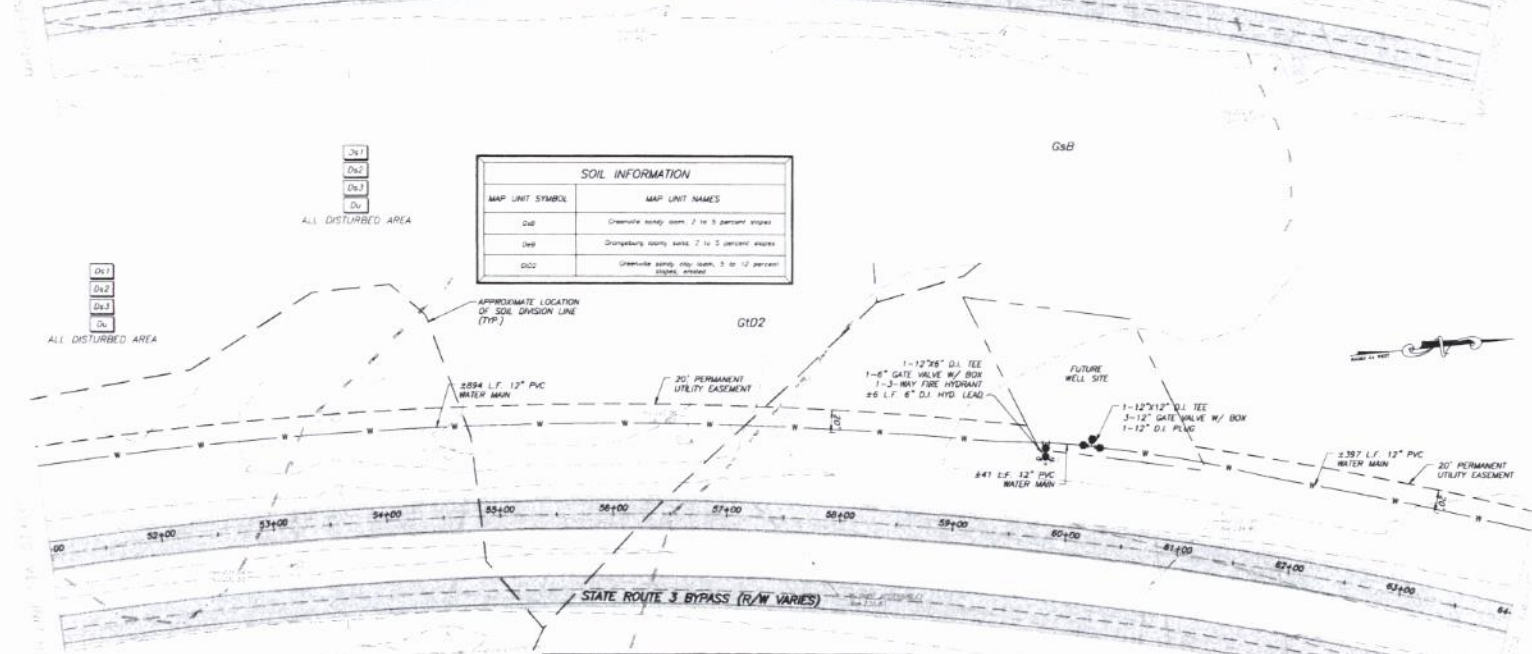
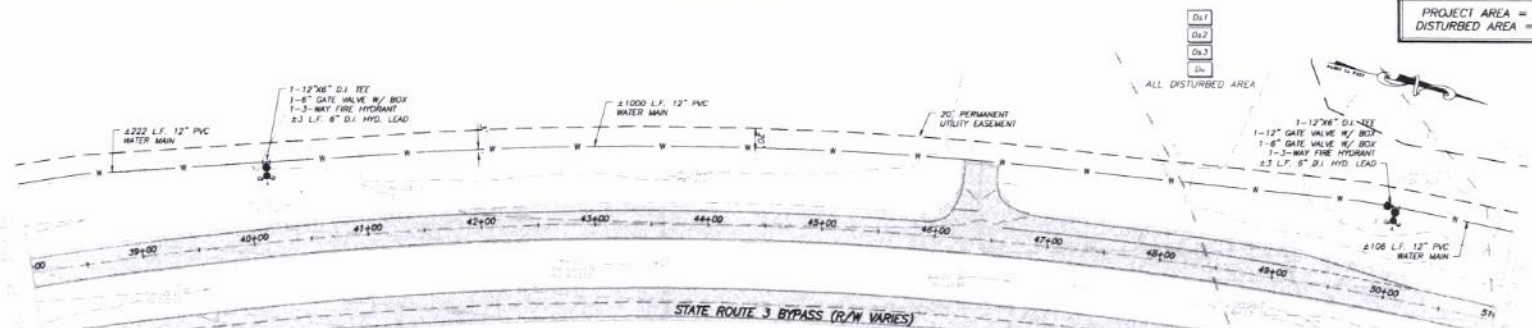
- EROSION CONTROL NOTES:**
- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF NESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
  - WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
  - THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
  - EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES, IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
  - AMENDMENTS/REVISIONS TO THE ESBAC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN ENGINEER.
  - ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

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24-HOUR CONTACT INFO:  
NAME: RUSS FERGUSON - WASTE WATER SUPERINTENDENT  
ADDRESS: 107 WALNUT AVENUE  
LEEBSURG, GA 31763  
PHONE: 228.758.6465

**WATER MAIN IMPROVEMENTS**

PROJECT AREA = 0.00 ACRES  
DISTURBED AREA = 0.00 ACRES



SOIL INFORMATION	
MAP UNIT SYMBOL	MAP UNIT NAMES
GsB	Orangeville sandy loam, 2 to 5 percent slopes
GsC	Orangeville sandy loam, 2 to 5 percent slopes
GsD	Orangeville sandy clay loam, 5 to 12 percent slopes, eroded

**EROSION CONTROL NOTES:**

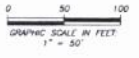
- NON-EROSIVE ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF INTEREST VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
- WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- AMENDMENTS/PREVISIONS TO THE EROSION PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN ENGINEER.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

**GENERAL WATER MAIN CONSTRUCTION NOTES:**

- CONTRACTOR SHALL REMOVE TREES ONLY AS NECESSARY. ANY AREA IN QUESTION SHALL BE APPROVED BY OWNER PRIOR TO REMOVAL.
- ALL DITCH LINES DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO GRADE.
- CONTRACTOR SHALL HAVE THE POWER COMPANY HOLD POWER POLES DURING WATER MAIN CONSTRUCTION AS NECESSARY.
- ALL CONCRETE, ASPHALT AND CORRAL DRIVEWAYS TO BE REPLACED TO CONDITION PRIOR TO CONSTRUCTION. ALL DRIVEWAYS TO REMAIN OPEN DURING CONSTRUCTION.
- WATER MAINS TO BE PRESSURE TESTED, STERILIZED AND SHOWN FREE OF FECAL COLIFORM BY TESTING LABORATORY BEFORE PLACING BACK INTO SERVICE.
- WHERE WATER LINES AND OTHER UTILITY LINES CROSS, WATER LINES SHALL BE INSTALLED SUCH THAT THE VERTICAL DISTANCE FROM THE OUTSIDE EDGE OF THE OTHER UTILITY LINE TO THE OUTSIDE EDGE OF THE WATERLINE IS A MINIMUM OF 18" WHILE ALSO MAINTAINING MINIMUM REQUIRED COVER. UNLESS NOTED OTHERWISE, GENERALLY WATER LINES SHALL BE INSTALLED ABOVE SEWER LINES, HOWEVER, WHERE WATER LINES ARE INSTALLED BELOW SEWER LINES ADDITIONAL MEASURES SHALL BE IMPLEMENTED AS REQUIRED BY THE GEORGIA ENVIRONMENTAL PROTECTION DIVISION, AT NO ADDITIONAL COSTS TO THE OWNER.
- EXISTING WATER MAINS SHALL BE PLUGGED AND DISCONNECTED IN THE PRESENCE OF ENGINEER OR CITY PERSONNEL.
- ALL VALVES TO BE AT FINISHED GRADE.

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24-HOUR CONTACT INFO:  
NAME: RUSS FERGUSON - WASTE WATER SUPERINTENDENT  
ADDRESS: 107 WALNUT AVENUE  
LEESBURG, GA 31763  
PHONE: 229.759.6465



Revision Date

**STILL WATERS**  
ENGINEERING  
330 VETERINARY WAY, UNIT 7, LEESBURG, GA 31763-229-486-2700  
WWW.STILLWATERSENGINEERING.COM

**WATER SYSTEM IMPROVEMENTS FOR THE CITY OF LEESBURG**  
LEE COUNTY, GEORGIA

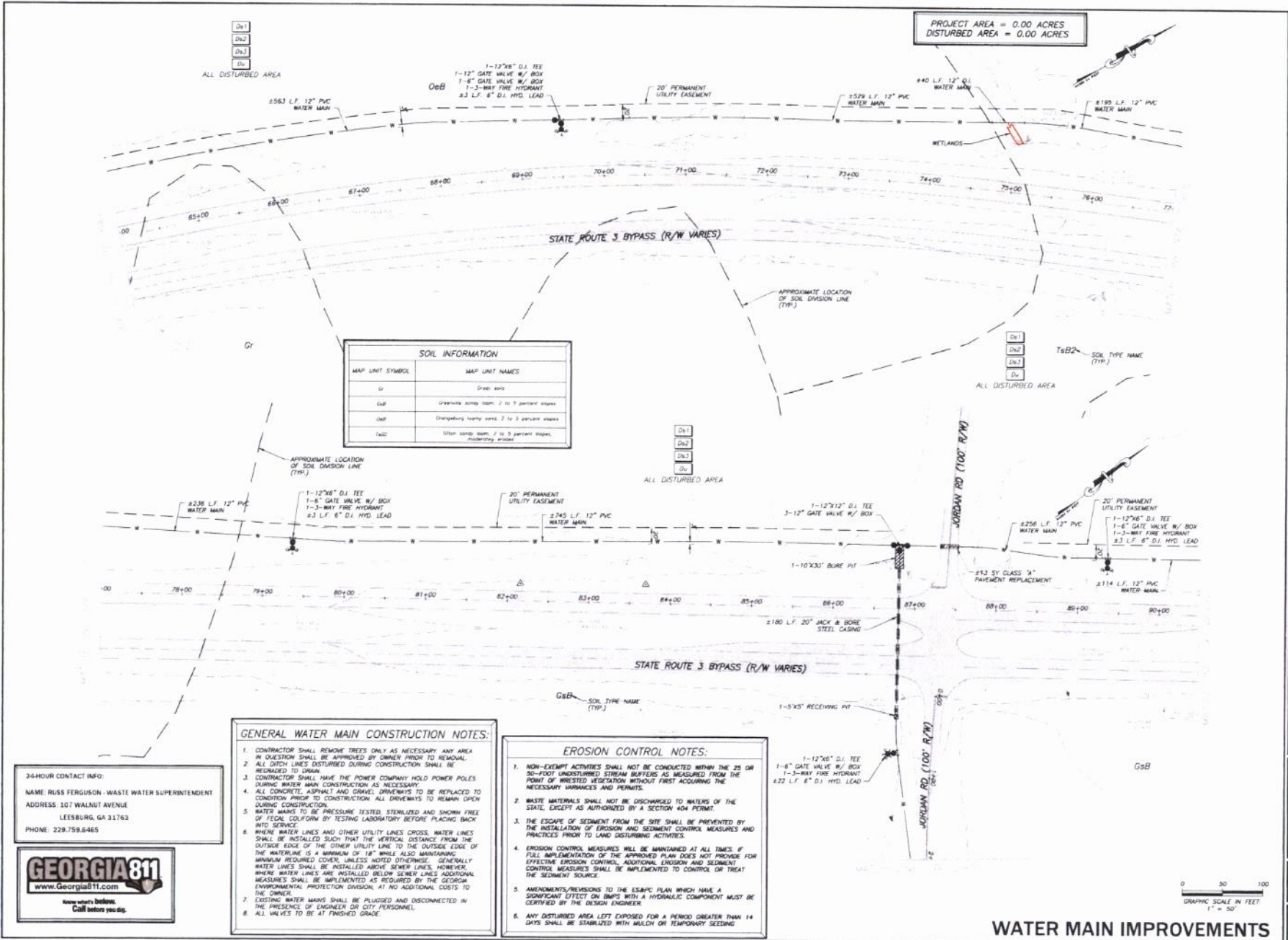
**PROFESSIONAL SEAL FOR CONSTRUCTION**  
8 SEP 2023  
LEVEL 4 CERTIFIED DESIGN PROFESSIONAL, C.E.R. #1944  
EXPIRES 11/07/2024

Project No: 10505.011 Date: SEPT 2022  
Scale: AS SHOWN Design By: C.R.G.

SHEET # 9 OF 13 SHEETS

**WATER MAIN IMPROVEMENTS**





- Dn1
- Dn2
- Dn3
- Du

ALL DISTURBED AREA

PROJECT AREA = 0.00 ACRES  
DISTURBED AREA = 0.00 ACRES

SOIL INFORMATION	
MAP UNIT SYMBOL	MAP UNIT NAMES
Gr	Grass soils
GsB	Granitic sandy loam, 2 to 3 percent slopes
DnB	Dunwoody heavy sand, 2 to 3 percent slopes
tsB2	Tifton sandy loam, 2 to 3 percent slopes, moderately eroded

**GENERAL WATER MAIN CONSTRUCTION NOTES:**

- CONTRACTOR SHALL REMOVE TREES ONLY AS NECESSARY. ANY AREA IN QUESTION SHALL BE APPROVED BY OWNER PRIOR TO REMOVAL.
- ALL DITCH LINES DISTURBED DURING CONSTRUCTION SHALL BE REGRADED TO DRAIN.
- CONTRACTOR SHALL HAVE THE POWER COMPANY HOLD POWER POLES DURING WATER MAIN CONSTRUCTION AS NECESSARY.
- ALL CONCRETE, ASPHALT AND GRAVEL DRIVEWAYS TO BE REPLACED TO CONDITION PRIOR TO CONSTRUCTION. ALL DRIVEWAYS TO REMAIN OPEN DURING CONSTRUCTION.
- WATER MAINS TO BE PRESSURE TESTED, STERILIZED AND SHOWN FREE OF FORMALIN BY TESTING LABORATORY BEFORE PLACING BACK INTO SERVICE.
- WHERE WATER LINES AND OTHER UTILITY LINES CROSS, WATER LINES SHALL BE INSTALLED SUCH THAT THE VERTICAL DISTANCE FROM THE OUTSIDE EDGE OF THE OTHER UTILITY LINE TO THE OUTSIDE EDGE OF THE WATERLINE IS A MINIMUM OF 18" UNLESS ALSO MAINTAINING MINIMUM REQUIRED COVER, UNLESS NOTED OTHERWISE. GENERALLY WATER LINES SHALL BE INSTALLED ABOVE OTHER LINES, HOWEVER, WHERE WATER LINES ARE INSTALLED BELOW OTHER LINES ADDITIONAL ENVIRONMENTAL PROTECTION DIVISION, AT NO ADDITIONAL COSTS TO THE OWNER.
- EXISTING WATER MAINS SHALL BE PLUGGED AND DISCONNECTED IN THE PRESENCE OF ENGINEER OR CITY PERSONNEL.
- ALL VALVES TO BE AT FINISHED GRADE.

**EROSION CONTROL NOTES:**

- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF UNRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
- WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- AMENDMENTS/PROVISIONS TO THE EXISTING PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN ENGINEER.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

24-HOUR CONTACT INFO:  
NAME: RUSS FERGUSON - WASTE WATER SUPERINTENDENT  
ADDRESS: 107 WALNUT AVENUE  
LEESBURG, GA 31763  
PHONE: 229.759.6465



Revision Date

**STILL WATERS**  
ENGINEERS & ARCHITECTS  
1511 HETTERMAN WAY, UNIT 2, LEESBURG, GA 31763, 229.486.5700  
WWW.STILLWATERSENG.COM

WATER SYSTEM IMPROVEMENTS  
FOR THE  
CITY OF LEESBURG  
LEE COUNTY, GEORGIA

PRELIMINARY  
NOT FOR  
CONSTRUCTION  
8/20/2023  
LEVEL 4 CERTIFIED DESIGN  
PROFESSIONAL CERT #13668  
EXPIRES: 1/31/2024

Project No: US05.033 Date: SEPT. 2022  
Scale: AS SHOWN Designed By: C.R.G.

SHEET #  
**10**  
OF 13 SHEETS

**WATER MAIN IMPROVEMENTS**



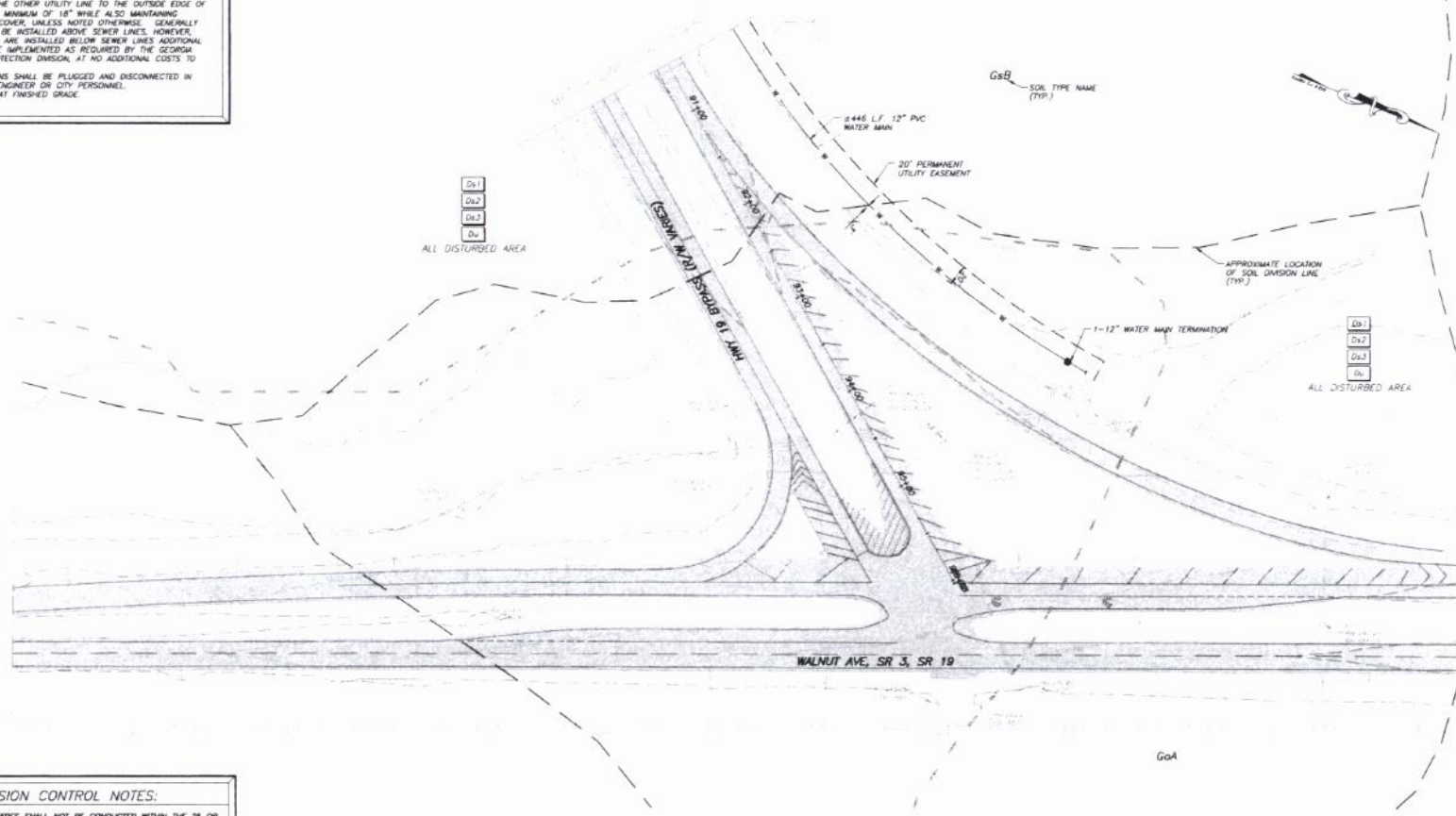
**GENERAL WATER MAIN CONSTRUCTION NOTES:**

1. CONTRACTOR SHALL REMOVE TREES ONLY AS NECESSARY. ANY AREA IN QUESTION SHALL BE APPROVED BY OWNER PRIOR TO REMOVAL.
2. ALL DITCH LINES DISTURBED DURING CONSTRUCTION SHALL BE REGRADED TO GRADE.
3. CONTRACTOR SHALL HAVE THE POWER COMPANY HOLD POWER POLES DURING WATER MAIN CONSTRUCTION AS NECESSARY.
4. ALL CONCRETE, ASPHALT AND GRAVEL DRIVEWAYS TO BE REPLACED TO CONDITION PRIOR TO CONSTRUCTION. ALL DRIVEWAYS TO REMAIN OPEN DURING CONSTRUCTION.
5. WATER MAINS TO BE PRESSURE TESTED, STERILIZED AND SHOWN FREE OF FICAL COLIFORM BY TESTING LABORATORY BEFORE PLACING BACK INTO SERVICE.
6. WHERE WATER LINES AND OTHER UTILITY LINES CROSS, WATER LINES SHALL BE INSTALLED SUCH THAT THE VERTICAL DISTANCE FROM THE OUTSIDE EDGE OF THE OTHER UTILITY LINE TO THE OUTSIDE EDGE OF THE WATERLINE IS A MINIMUM OF 18" WHILE ALSO MAINTAINING MINIMUM REQUIRED COVER, UNLESS NOTED OTHERWISE. GENERALLY WATER LINES SHALL BE INSTALLED ABOVE SEWER LINES, HOWEVER, WHERE WATER LINES ARE INSTALLED BELOW SEWER LINES ADDITIONAL MEASURES SHALL BE IMPLEMENTED AS REQUIRED BY THE GEORGIA ENVIRONMENTAL PROTECTION DIVISION, AT NO ADDITIONAL COSTS TO THE OWNER.
7. EXISTING WATER MAINS SHALL BE PLUGGED AND DISCONNECTED IN THE PRESENCE OF ENGINEER OR CITY PERSONNEL.
8. ALL VALVES TO BE AT FINISHED GRADE.

SOIL INFORMATION	
MAP UNIT SYMBOL	MAP UNIT NAMES
GsB	Greenish sandy loam, 0 to 2 percent slopes
GoA	Reddish heavy sand, 0 to 2 percent slopes

PROJECT AREA = 0.00 ACRES  
DISTURBED AREA = 0.00 ACRES

Revision Date



Ds1  
Ds2  
Ds3  
Ds4  
ALL DISTURBED AREA

Ds1  
Ds2  
Ds3  
Ds4  
ALL DISTURBED AREA

**EROSION CONTROL NOTES:**

1. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF UNRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
2. WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
3. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
4. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
5. AMENDMENTS/REVISIONS TO THE ESMPC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN ENGINEER.
6. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

0 50 100  
GRAPHIC SCALE IN FEET  
1" = 50'

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24-HOUR CONTACT INFO:  
NAME: RUSS FERGUSON - WASTE WATER SUPERINTENDENT  
ADDRESS: 107 WALNUT AVENUE  
LEESBURG, GA 31763  
PHONE: 229.759.6465

**STILL WATERS**  
ENGINEERING  
1501 VETERINARY WAY, UNIT 2, LEESBURG, GA 31763 229.686.6100  
WWW.STILLWATERSENG.COM

WATER SYSTEM IMPROVEMENTS  
FOR THE  
CITY OF LEESBURG  
LEE COUNTY, GEORGIA

PRELIMINARY  
FOR  
CONSTRUCTION  
9/15/2023

LEVEL 5 CERTIFIED DESIGN  
PROFESSIONAL: CSST #13884  
EXPIRES: 11/30/2024  
Project No. LD005.011 Date: SEPT. 2022  
Scale: AS SHOWN Designed By: C.R.G.

SHEET #:  
**11**  
OF 13 SHEETS

**WATER MAIN IMPROVEMENTS**

PROJECT AREA = 0.00 ACRES  
DISTURBED AREA = 0.00 ACRES

Revision Date



WATER SYSTEM IMPROVEMENTS  
FOR THE  
CITY OF LEESBURG  
LEE COUNTY, GEORGIA



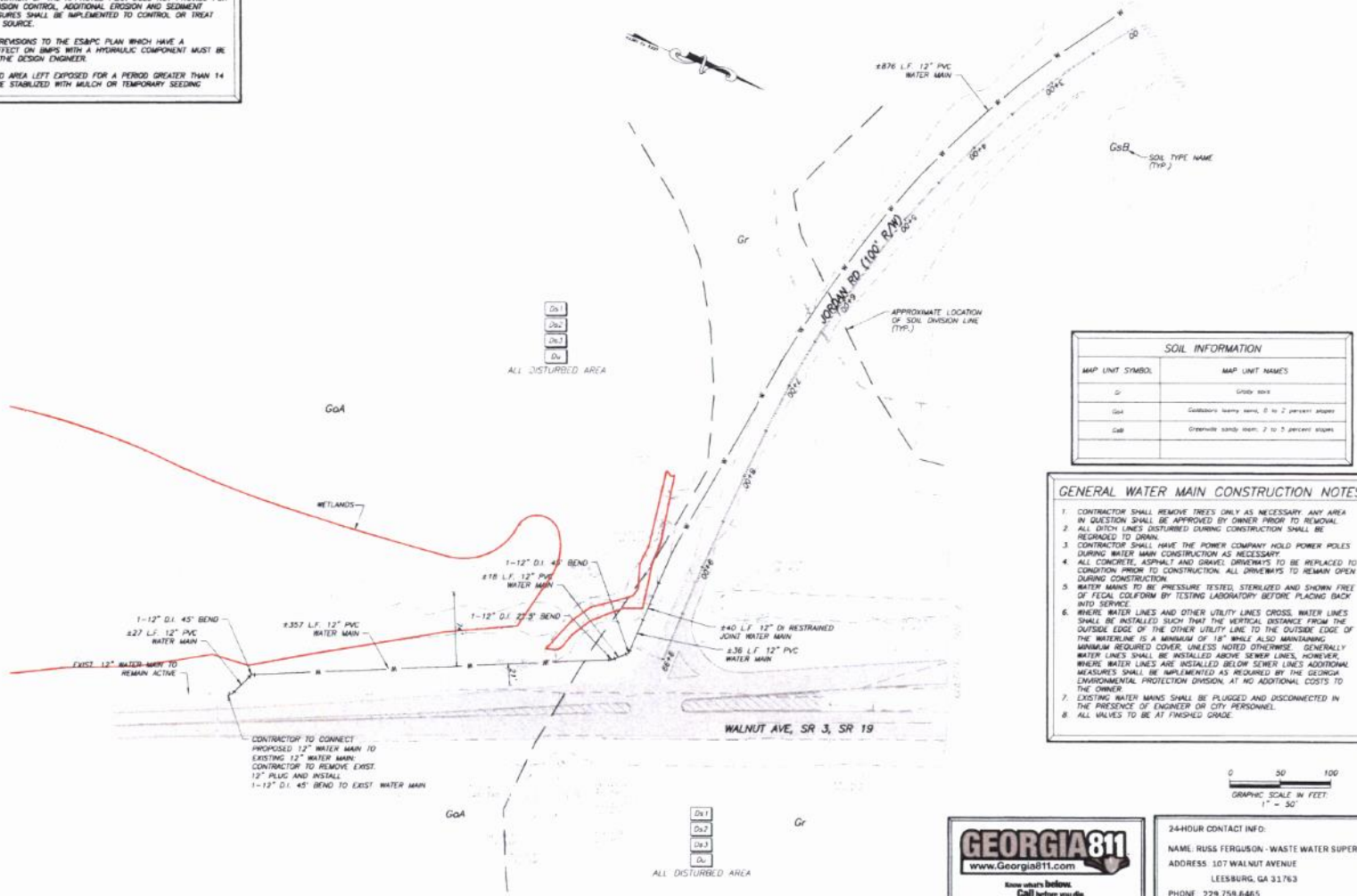
LEVEL & CERTIFIED DESIGN PROFESSIONAL, CDR #13469 EXPIRES 11/01/2024

Project No. L0505.011 Date: SEPT. 2022  
Scale: AS SHOWN Designed by: C.R.G.

SHEET # 12 OF 13 SHEETS

**EROSION CONTROL NOTES:**

- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY PERMITS AND PERMITS.
- WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN ENGINEER.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.



**SOIL INFORMATION**

MAP UNIT SYMBOL	MAP UNIT NAME
G0	Grady silt
G0B	Collapsible heavy sand, 0 to 2 percent silt
G0C	Greenish sandy silt, 2 to 5 percent silt

- GENERAL WATER MAIN CONSTRUCTION NOTES:**
- CONTRACTOR SHALL REMOVE TREES ONLY AS NECESSARY. ANY AREA IN QUESTION SHALL BE APPROVED BY OWNER PRIOR TO REMOVAL.
  - ALL DITCH LINES DISTURBED DURING CONSTRUCTION SHALL BE REGRADED TO DRAIN.
  - CONTRACTOR SHALL HAVE THE POWER COMPANY HOLD POWER POLES DURING WATER MAIN CONSTRUCTION AS NECESSARY.
  - ALL CONCRETE, ASPHALT AND GRAVEL DRIVEWAYS TO BE REPLACED TO CONDITION PRIOR TO CONSTRUCTION. ALL DRIVEWAYS TO REMAIN OPEN DURING CONSTRUCTION.
  - WATER MAINS TO BE PRESSURE TESTED, STERILIZED AND SHOWN FREE OF FECAL COLIFORM BY TESTING LABORATORY BEFORE PLACING BACK INTO SERVICE.
  - WHERE WATER LINES AND OTHER UTILITY LINES CROSS, WATER LINES SHALL BE INSTALLED SUCH THAT THE VERTICAL DISTANCE FROM THE OUTSIDE EDGE OF THE OTHER UTILITY LINE TO THE OUTSIDE EDGE OF THE WATERLINE IS A MINIMUM OF 18" WHILE ALSO MAINTAINING MINIMUM REQUIRED COVER. UNLESS NOTED OTHERWISE. GENERALLY WATER LINES SHALL BE INSTALLED ABOVE SEWER LINES. HOWEVER, WHERE WATER LINES ARE INSTALLED BELOW SEWER LINES ADDITIONAL MEASURES SHALL BE IMPLEMENTED AS REQUIRED BY THE GEORGIA ENVIRONMENTAL PROTECTION DIVISION, AT NO ADDITIONAL COSTS TO THE OWNER.
  - EXISTING WATER MAINS SHALL BE PLUGGED AND DISCONNECTED IN THE PRESENCE OF ENGINEER OR CITY PERSONNEL.
  - ALL VALVES TO BE AT FINISHED GRADE.

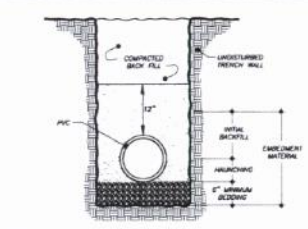
0 50 100  
GRAPHIC SCALE IN FEET  
1" = 30'

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**WATER MAIN IMPROVEMENTS**

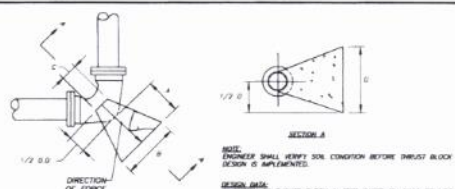
**CONSTRUCTION DETAILS**



**NOTES:**  
BEDDING MATERIAL MUST BE CLASS I (99) STONE (IS TYPICALLY USED).  
EMBANKMENT MATERIAL SHALL BE COMPACTED TO A MINIMUM FOR STANDARD PROCTOR DENSITY FOR CLASS I MATERIAL.  
STANDARD BEDDING SHALL BE UTILIZED FOR ALL CLASSES WHERE TRENCH BOTTOMS ARE UNSTABLE DUE TO SOIL TYPE OR MOISTURE CONDITIONS.

**BEDDING FOR PVC WATER MAIN PIPE**

SCALE: N.T.S.

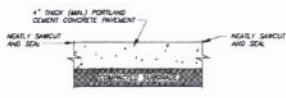


**MINIMUM DIMENSIONS IN FEET FOR CONCRETE BLOCKING**

PIPE SIZE (IN)	A	B	C	D	PIPE WEIGHT (LBS)
8"	1.2	2.2	2.2	2.2	1.3
10"	1.2	2.2	2.2	2.2	2.2
12"	1.2	2.2	2.2	2.2	3.1
14"	1.2	2.2	2.2	2.2	4.0
16"	1.2	2.2	2.2	2.2	5.0
18"	1.2	2.2	2.2	2.2	6.0
20"	1.2	2.2	2.2	2.2	7.0
24"	1.2	2.2	2.2	2.2	8.5
30"	1.2	2.2	2.2	2.2	10.5
36"	1.2	2.2	2.2	2.2	12.5
42"	1.2	2.2	2.2	2.2	14.5
48"	1.2	2.2	2.2	2.2	16.5
54"	1.2	2.2	2.2	2.2	18.5
60"	1.2	2.2	2.2	2.2	20.5
72"	1.2	2.2	2.2	2.2	24.5
84"	1.2	2.2	2.2	2.2	28.5
96"	1.2	2.2	2.2	2.2	32.5
108"	1.2	2.2	2.2	2.2	36.5
120"	1.2	2.2	2.2	2.2	40.5
144"	1.2	2.2	2.2	2.2	48.5
168"	1.2	2.2	2.2	2.2	56.5
192"	1.2	2.2	2.2	2.2	64.5
216"	1.2	2.2	2.2	2.2	72.5
240"	1.2	2.2	2.2	2.2	80.5
264"	1.2	2.2	2.2	2.2	88.5
288"	1.2	2.2	2.2	2.2	96.5
312"	1.2	2.2	2.2	2.2	104.5
336"	1.2	2.2	2.2	2.2	112.5
360"	1.2	2.2	2.2	2.2	120.5
384"	1.2	2.2	2.2	2.2	128.5
408"	1.2	2.2	2.2	2.2	136.5
432"	1.2	2.2	2.2	2.2	144.5
456"	1.2	2.2	2.2	2.2	152.5
480"	1.2	2.2	2.2	2.2	160.5
504"	1.2	2.2	2.2	2.2	168.5
528"	1.2	2.2	2.2	2.2	176.5
552"	1.2	2.2	2.2	2.2	184.5
576"	1.2	2.2	2.2	2.2	192.5
600"	1.2	2.2	2.2	2.2	200.5

**TYPICAL HORIZONTAL THRUST BLOCK**

SCALE: N.T.S.



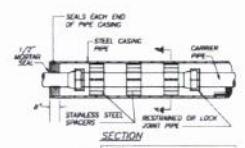
**CONCRETE DRIVEWAY REPLACEMENT**

N.T.S.



**GRAVEL DRIVEWAY REPLACEMENT**

N.T.S.

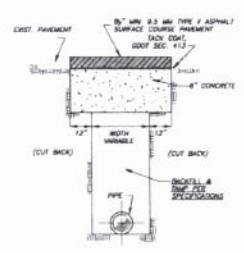


**SECTION A-A**

- NOTES:**
- CASING STRAPS SHALL BE PLACED ON 4" CENTERLINE.
  - ALL INSTALLATION SHALL BE APPROVED BY THE LEESBURG WATER DEPARTMENT.
  - ALL HIGHWAY CROSSINGS SHALL BE APPROVED BY THE LEESBURG WATER DEPARTMENT & LEESBURG WATER DEPARTMENT.

**STEEL CASING INSTALLATION**

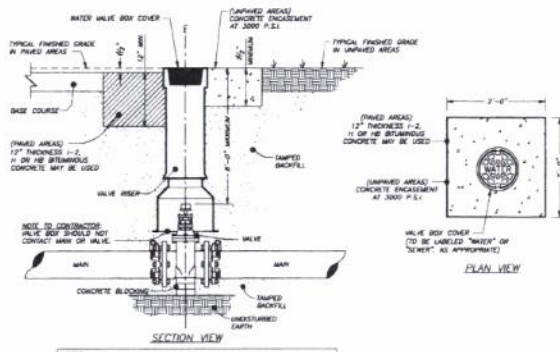
SCALE: N.T.S.



**NOTES:**  
ALL GENERALLY AND METHODS OF INSTALLATION SHALL COMPLY WITH THE LEESBURG WATER DEPARTMENT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. THIS DRAWING IS LATEST REVISION PERMITTED.

**CLASS "A" PAVEMENT REPLACEMENT**

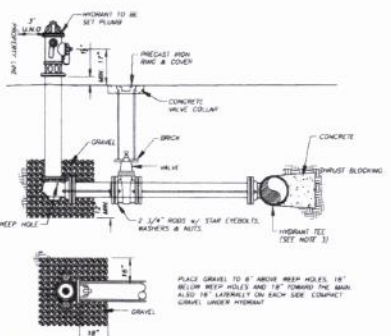
SCALE: N.T.S.



- NOTES:**
- ONLY MANUFACTURED VALVE BOX EXTENSIONS SHALL BE ALLOWED.
  - VALVE OPERATING MECHANISM MUST BE EXTENDED SO THAT THE TOP IS NO GREATER THAN 1" (1.5") FROM THE SURFACE USING A MANUFACTURED APPROVED EXTENSION KIT.
  - PRECAST CONCRETE ENCLOSURE IS ALLOWED OUTSIDE OF PAVED AREAS.

**STANDARD VALVE BOX INSTALLATION**

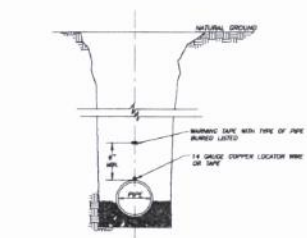
SCALE: N.T.S.



- NOTES:**
- HYDRANT TO BE HIGH-TENSILE, HOT-ROLLED STEEL WITH REMAINE STRENGTH OF 115,000 P.S.I. AND A MINIMUM YIELD STRENGTH OF 85,000 P.S.I.
  - FOR ALL WATER MAINS IN LEESBURG, STATE OF GEORGIA, FEDERAL ROAD'S STANDARD TRENCH DESIGN SHALL BE A 12" TRENCH TOP OF COURSE.
  - IF OVERLAP SEE LOCAL MUNICIPALITY LENGTHS SHALL BE 12'.

**FIRE HYDRANT INSTALLATION**

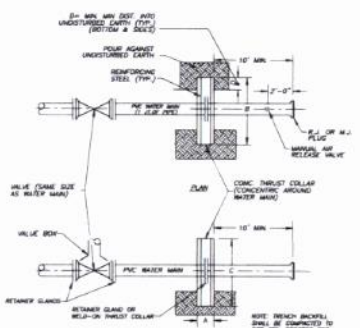
N.T.S.



- NOTES:**
- LOCATOR WIRE AND TAPE REQUIRED FOR ALL PIPE SIZES.
  - STRAP LOCATOR WIRE IS TO BE INSTALLED IN THE TOP OF THE PIPE AS RECOMMENDED BY THE LOCATOR WIRE OR TAPE MANUFACTURER.

**LOCATOR WIRE & TAPE FOR PIPE**

SCALE: N.T.S.



MAIN SIZE (IN)	CONCRETE COLLAR DIA.	REINFORCING STEEL
8"	12"	#4 @ 12" O.C. E.W.F.
12"	18"	#4 @ 12" O.C. E.W.F.
16"	24"	#4 @ 12" O.C. E.W.F.
20"	30"	#4 @ 12" O.C. E.W.F.

**NOTE:** TERMINATION DETAIL FOR STEEL TRENCH SHALL BE DETERMINED FOR EACH PROJECT.

**TYPICAL WATER MAIN TERMINATION**

SCALE: N.T.S.

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LEESBURG, GA 31763  
PHONE: 229.759.6465

## SPLOST VIII

Project	<u>Year Approved</u>	<u>Proposed Costs</u>
1 Public Safety	2024	\$ 4,500,000
2 Courthouse - Renovations and Additions	2024	\$ 4,000,000
3 Water and Sewer Projects	2024	\$ 5,000,000
4 Road Streets and Bridges	2024	\$ 2,163,088
5 Library Projects	2024	\$ 250,000
6 911 Improvements	2024	\$ 2,000,000
9 Public Facilities	2024	\$ 2,000,000
10 Recreation Projects	2024	\$ 3,500,000
12 Capital equipment for use in voting in official elections or referendums	2024	\$ 150,000
13 Stormwater Infrastructure	2024	\$ 1,000,000
14 Public Works Renovations and Equipment	2024	\$ 2,000,000
		<u><u>26,563,088</u></u>



# LEE COUNTY

Board of Commissioners

One of Georgia's original counties - Established in 1825

## SPLOST VIII

Lee County's Special Purpose Local Option Sales Tax VII (SPLOST VII) was approved by the voters during the May 2018 election on a 74.32% yes and 25.68% no vote, going into effect on October 1, 2019 for a period of six years (ending September 30, 2025). With that date rapidly approaching, staff would like to propose the schedule below regarding the SPLOST VIII referendum.

**May 2023 to July 2023** – SPLOST VIII planning period for staff, including preparation of all SPLOST VIII documents

**August 2023 to September 2023** – BOC discussions on proposed SPLOST VIII projects

**October 2023 to January 2024** – Meetings with the cities to discuss SPLOST VIII

**February 2024 to March 2024** – Preparation and approval of all SPLOST VIII documents and local governments approval of MOU and Resolutions

**April 2024** – Submit documents to the Elections Superintendent to call for the election

**November 5, 2024** – Election held for SPLOST VIII (the Tuesday after the first Monday in November)

**October 1, 2025** – Implementation of SPLOST VIII, if approved by the voters

**September 30, 2031** – SPLOST VIII collection ends

Lee County is a thriving, vibrant community celebrated for its value of tradition encompassing a safe family oriented community, schools of excellence, and life long opportunities for prosperity and happiness without sacrificing the rural agricultural tapestry.

Chairman  
Billy Mathis  
District 3

Vice-Chairman  
Luke Singletary  
District 2

Commissioner  
Dennis Roland  
District 1

Commissioner  
Chris Guarnieri  
District 4

Commissioner  
George Walls  
District 5

County Manager  
Christi Dockery

County Attorney  
Jimmy Skipper

102 Starkville Avenue North  
Leesburg, Georgia 31753

Office: (229) 759-6000  
Fax: (229) 759-6050

[www.lee.ga.us](http://www.lee.ga.us)



# LEE COUNTY

Board of Commissioners

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## SPLOST VIII, cont.

Below are the SPLOST VIII required activities, legal uses of the SPLOST VIII revenue, SPLOST VIII projected revenue, and SPLOST legal do's and don'ts for your information.

### Required Activities

In order to continue the 1% sales tax without interruption, a referendum should be scheduled for November 5, 2024 to determine if the voters would like to continue SPLOST for another six years. To begin the process, the Board of Commissioners must conduct the following activities in accordance with O.C.G.A 48-8-111:

- 1) Notify and meet with the two incorporated municipalities to discuss the possible projects for inclusion in the referendum along with the maximum cost of the projects. The meeting must be held at least 30 days prior to the issuance of the call for the referendum. If projects for the municipalities are included in the referendum, an intergovernmental agreement between the county and the municipalities must be prepared and approved stating those projects.
- 2) After meeting with the two municipalities, deciding how the tax proceeds will be used, the collection period, and calculating the maximum amount to be raised by the tax, the Board of Commissioners should pass a resolution containing the above information and forward said resolution to the Election Superintendent. The Election Superintendent will then issue a call for the election, publish a notice of the election in the County's official legal organ, the Lee County Ledger, once a week for four weeks prior to the election in accordance with state law. The election will be held on November 5, 2024. If the referendum fails, another referendum could not occur until twelve months later.

### Legal Uses of SPLOST Funds

- 1) Road, streets, bridges, including sidewalks and bicycle paths.
- 2) Capital projects for the benefit of all county citizens such as, but not limited to, a county courthouse, county administration building, civic center, detention facility, or library.
- 3) Capital projects which will be operated by a joint authority of the county and one or more municipalities within the county for the benefit of all citizens.
- 4) Capital projects which will be owned or operated by the county or one or more municipalities, or a combination thereof, which contain more than one-half of the aggregate population of all municipalities within the county.
- 5) Capital projects consisting of cultural facilities, recreational facilities, or historical facilities.
- 6) Capital projects consisting of water/sewer projects to be owned or operated, or both, by a county water and sewer district and one or more qualified municipalities in the county.
- 7) Retirement of previously incurred general obligation debt.

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# LEE COUNTY

## Board of Commissioners

One of Georgia's original counties - Established in 1825

- 8) Capital projects for the benefit for all citizens consisting of public safety facilities, or other capital equipment related to the operation of public safety.
- 9) Projects within the special voting district, consisting of capital equipment for use in voting in official elections or referendums.
- 10) Capital projects for the benefit of all citizens consisting of any transportation facility designed for the transportation of people or goods and services including, but not limited to, railroads, port and harbor facilities, mass transportation facilities, or any combination thereof.
- 11) Capital projects within a special district and consisting of a hospital or hospital facilities that are owned by the county a qualified municipality, or a hospital authority within a special district **and** operated by such county, municipality, or hospital authority or by an organization which is tax exempt under Section 501 (c)(3) of the Internal Revenue Code, which operates the hospital through a contract or lease with such county, municipality, or hospital authority.
- 12) The repair of capital projects, including but not limited to roads, streets, and bridges that have been damaged or destroyed by a natural disaster.
- 13) Capital projects that are owned, operated or administrated by the State and located, in part or in whole within the special district.
- 14) Any combination of two or more of the above.

### **SPLOST VIII – Projected Revenue**

Based on the proceeding SPLOST VII collection trend, assuming business growth on both Highway 82 and Highway 19, Lee County can expect to receive approximately \$418,640 per month, \$5,023,680 per year, or \$30,142,080 over the maximum six year period in SPLOST VIII revenue (this is only County revenue).

### **SPLOST VIII – Proposed Projects**

Staff has been sent information regarding SPLOST VIII to submit projects to be considered and approved by the Board of Commissioners.

### **SPLOST Legal Do's and Don'ts**

In accordance with O.C.G.A 21-5-30.2(b), the county or any department of the county or person acting on behalf of the county or any department shall not make, directly, or indirectly, any contribution to any campaign committee, political action committee, or political organization or to any candidate. This means the county cannot spend any public funds to obtain the passage of SPLOST. Elected officials may speak on behalf of the program, but public funds may not be spent toward advertising, flyers, mailings, or any other promotion on behalf of voting for SPLOST. If the Board decides to promote the SPLOST VIII referendum, a civic or business group such as the Chamber of Commerce can provide the leadership necessary to educate the citizens on the SPLOST VIII program.

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---

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# LEE COUNTY

Board of Commissioners

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## MEMORANDUM

**TO:** Board of Commissioners

**FROM:** Christi Dockery, County Manager

**SUBJECT:** Compensation and Pay Classification Study

**DATE:** September 12, 2023

### MOTION/RECOMMENDATION

Staff recommends contracting with Archer Company for the completion of a full Compensation and Pay Classification Study for \$27,000.00 based on their price, scope of work, estimated completion date, and reference checks.

### BACKGROUND

On Tuesday, August 15, 2023, Human Resources Director Brandy Hoey and I began soliciting quotes from qualified vendors for a Compensation and Pay Classification Study. The last full Compensation and Pay Classification Study was completed in 2008 by the Mercer Group. Since then, we have hired at least twelve positions, that are currently filled, for which we do not have approved job descriptions.

Quotes were requested from five reputable vendors for a full Compensation and Pay Classification Study to include that 50% of the workforce be interviewed. We have also asked that an appeals process for employees be provided as well as a year of technical support. Each vendor is to provide the proper FLSA status for each position in the County and ensure we have an accurate job description for each position as well. We have solicited quotes from the following companies:

<u>Vendor</u>	<u>Price</u>	<u>Completion Date</u>
<u>Archer Company</u>	<b>\$27,000.00</b>	<b>Six (6) Months from Contract Date</b>
Bolton USA	\$39,950.00	Three (3) Months from Contract Date
Condrey and Associates	\$47,500.00	By March 2024
Evergreen Solutions, LLC	\$39,500.00	Four (4) Months from Contract Date
University of Georgia	*No Response as of September 8, 2023	

Archer Company have performed over 40 studies within Georgia and have over 45 years of experience specializing in the development and implementation of classification and compensation studies. They have extensive experience and expertise in the areas of job analysis and evaluation and development of classification structures. Staff recommends Archer for this much needed compensation analysis.

### ATTACHMENTS

None



**MEMORANDUM  
LEE COUNTY BOARD  
OF COMMISSIONERS**

**TO:** Honorable Board of County Commissioners  
**SUBJECT:** 2024 LMIG Application  
**MEETING DATE:** Tuesday, September 12, 2023

---

**MOTION/RECOMMENDATION**

Motion to authorize submission of the 2024 LMIG application.

**BACKGROUND**

This month, the Georgia Department of Transportation will begin accepting applications for the FY 2024 LMIG Program. The county's formula amount for 2024 is \$690,908.06, plus our 30% local match of \$207,272.42 comes to a total of \$898,180.48 to put towards various road projects. This is an increase of \$82,528.29 from FY2023. **All electronic LMIG applications must be received no later than February 1, 2024.**

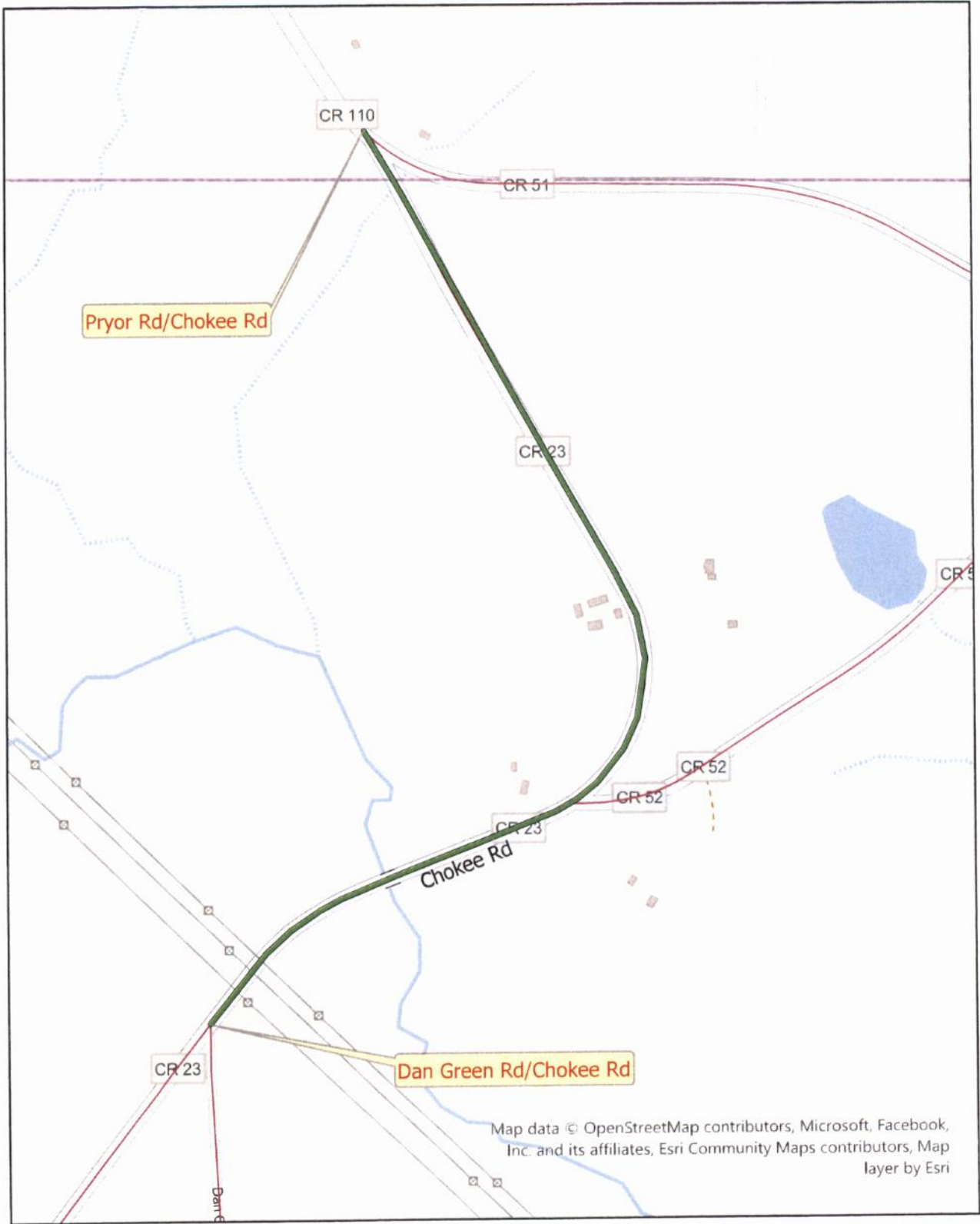
**ATTACHMENTS**

Project Report  
Maps  
Letter from GDOT

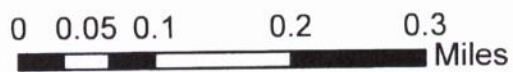
## 2024 LMIG PROJECT REPORT

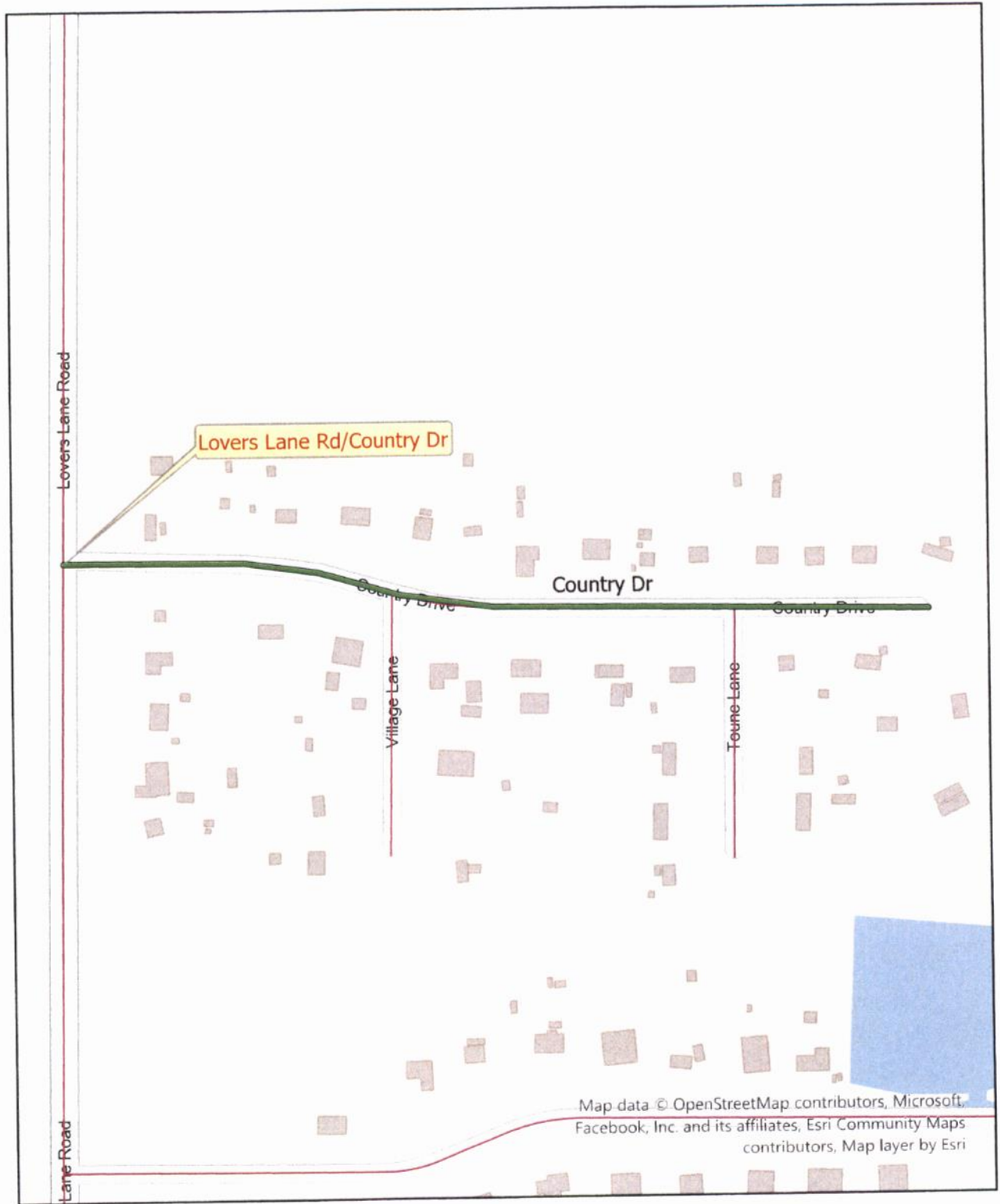
COUNTY / CITY Lee County

ROAD NAME	BEGINNING	ENDING	LENGTH (Miles)	DESCRIPTION OF WORK	PROJECT COST	PROJECT SCHEDULE
Chokee Road	Dan Green Road	Sumter County Line	1.13	Resurfacing	\$259,693.73	Begin January 2024
Country Drive	Lovers Lane Road	End	0.36	Resurfacing	\$82,800.00	Begin January 2024
Knollwood Drive	Creekside Drive	Foxworth Drive	0.42	Resurfacing	\$100,625.00	Begin January 2024
Springlake Drive	US Hwy 19 South	Cedric Street	0.68	Resurfacing	\$238,350.51	Begin January 2024
Wiregrass Way	Martindale Drive	Cul de Sac	1.78	Resurfacing	\$409,198.78	Begin January 2024
		<b><u>Estimated Total Mileage</u></b>	<b>4.37</b>	<b><u>Estimated Total Cost</u></b>	<b>\$1,087,668.02</b>	

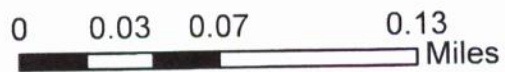


**Chokee Rd**  
1.13 Miles



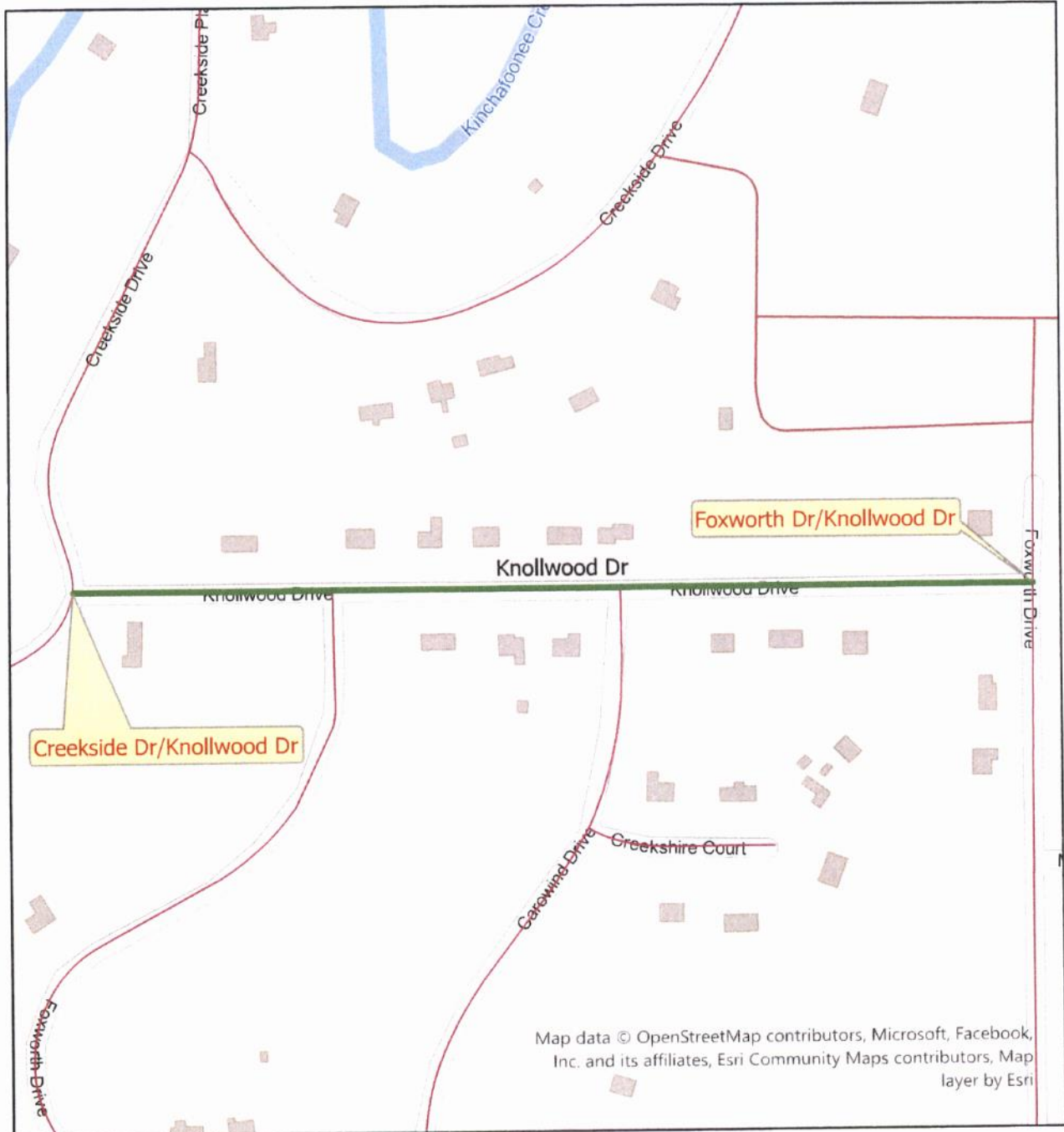


— Country Dr  
 0.36 Miles  
 Number of House's - 21



# Lee County Georgia

## Proposed Road Resurfacing Projects

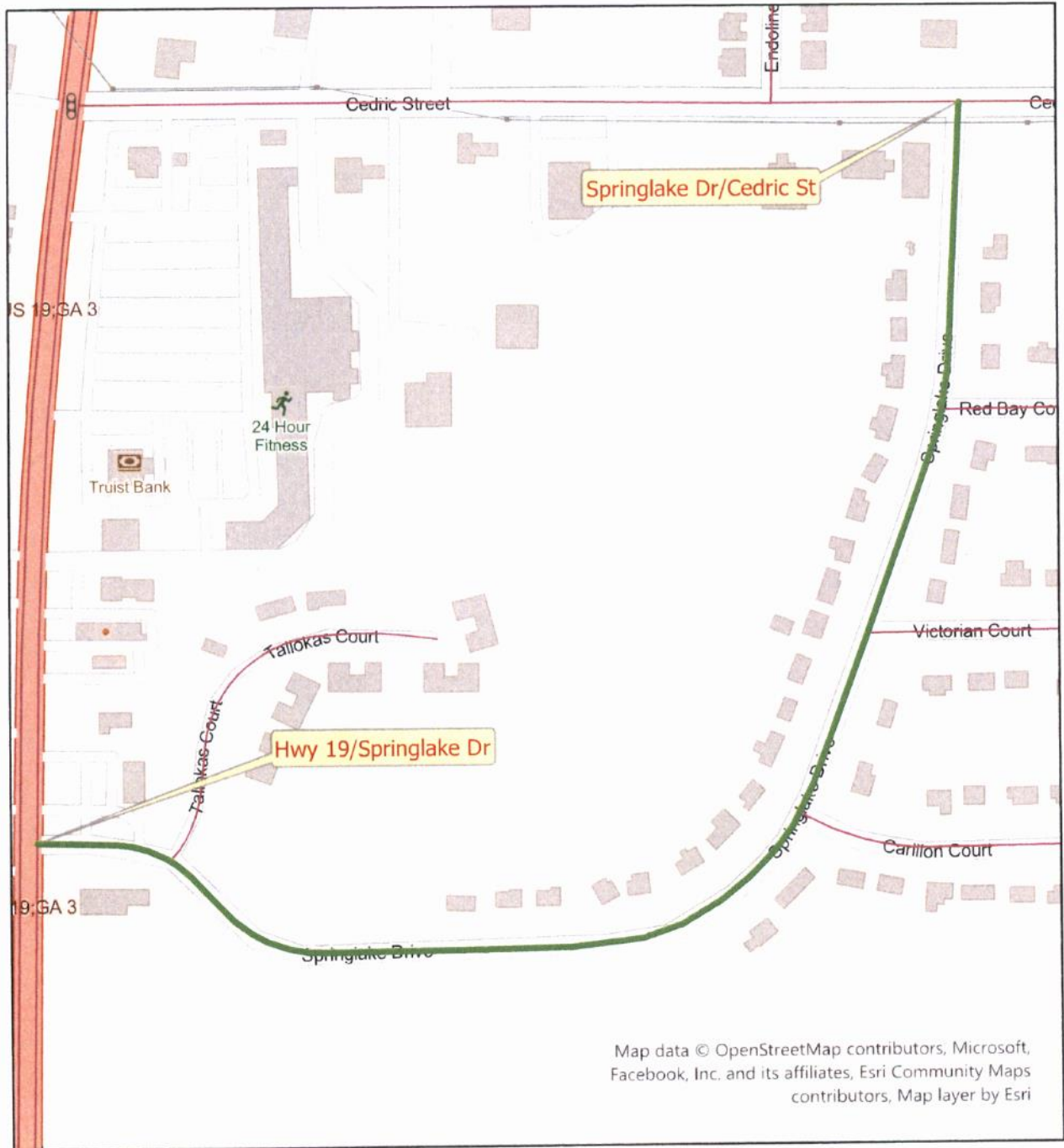


— Knollwood Dr  
0.42 Miles



# Lee County Georgia

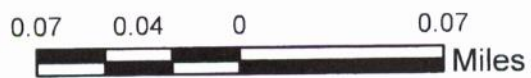
## Proposed Road Resurfacing Projects



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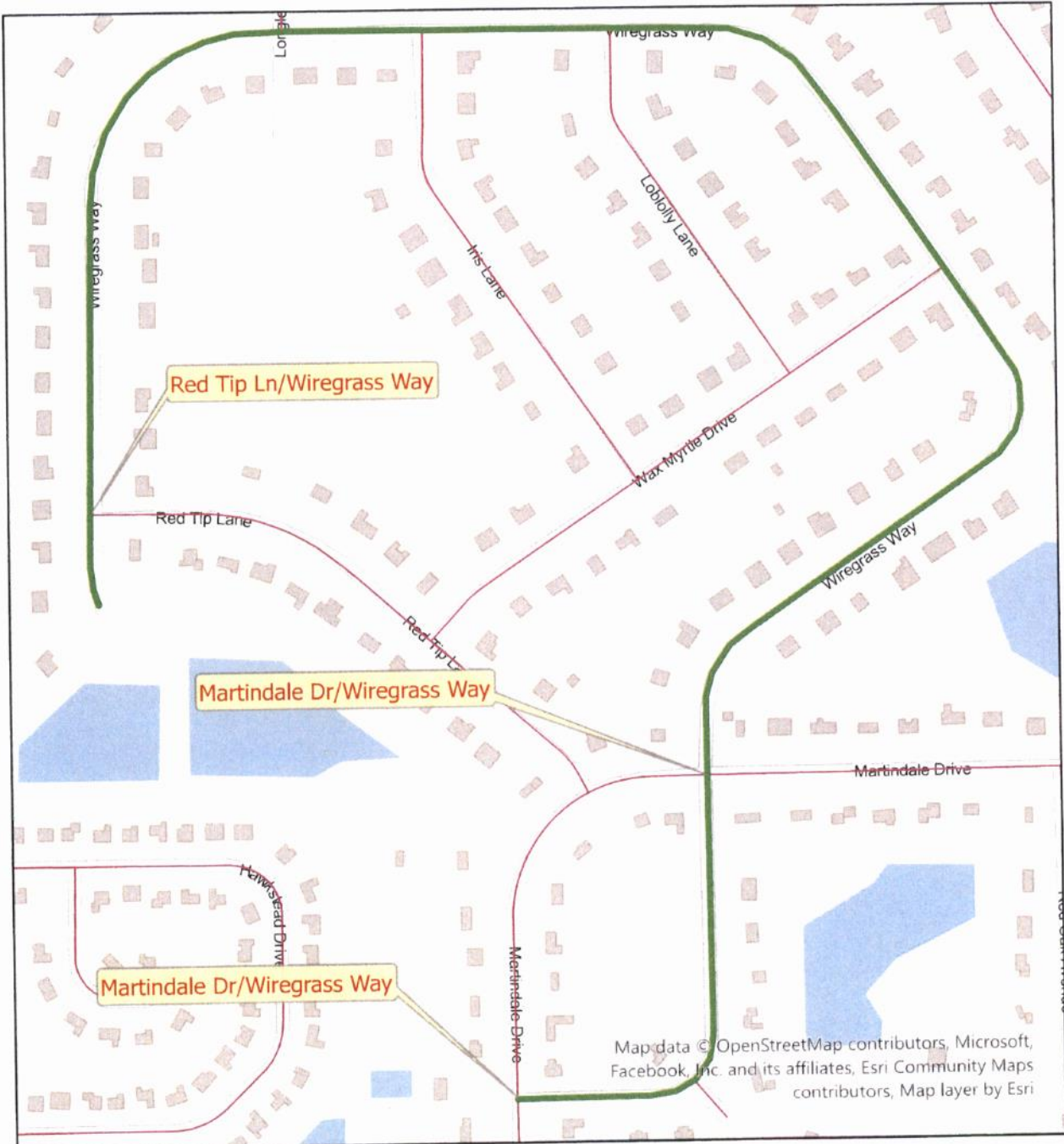


— Springlake Dr  
0.69 Miles

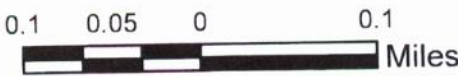


# Lee County Georgia

## Proposed Road Resurfacing Projects



— Wiregrass Way  
1.77 Miles  
Number of Houses - 81







**Russell R. McMurry, P.E., Commissioner**  
One Georgia Center  
600 West Peachtree Street, NW  
Atlanta, GA 30308  
(404) 631-1000 Main Office

June 28, 2023

The Honorable Billy Mathis, Chairman  
Lee County  
102 Starksville Ave N, Room 205  
Leesburg, Georgia 31763

**RE: Fiscal Year 2024 Local Maintenance & Improvement Grant (LMIG) Program**

Dear Chairman Mathis:

We are pleased to announce that the Department will begin accepting applications for the Fiscal Year 2024 LMIG Program in July 2023. Grants will be processed electronically through our **GRANTS (LMIG) Application System**. To begin your FY 2024 LMIG Application, please visit the Department's website at <https://www.dot.ga.gov/GDOT/Pages/LMIG.aspx>. This site provides a link to the LMIG Application, the LMIG Application Tutorial (Manual), and to the General Guidelines and Rules and other pertinent reports. The project list will be entered directly into the LMIG Application System. Please contact your District State Aid Coordinator, **Shannon Bradford**, at **229-391-5438** for assistance with the online application process.

For an application to be processed, the following requirements must be met:

- A local government must be in Department of Audits and Accounts (DOAA) and Department of Community Affairs (DCA) audit compliance.
- A signed cover letter must be attached and include a completion status of the last three fiscal years' LMIG Grants.
- A signature page must include both the local government seal and the notary seal. The application website provides a blank signature page for you to download, complete and upload as an attachment.
- A local government must provide their District State Aid Coordinator with a Statement of Financial Expenditures form and invoices for Fiscal Year 2021 projects and all other prior years unless previously approved to combine funding for Fiscal Years 2021, 2022, and 2023. The forms can be attached in the LMIG Application System if they have not already been provided to your District State Aid Coordinator.

**All electronic LMIG applications must be received no later than February 1, 2024.** Failure to submit applications by the deadline might result in a forfeiture of funds.

Your formula amount for the Fiscal Year 2024 Program is **\$690,908.06** and your local match is **30%**. Each local government is required to match this formula amount in accordance with Code Section 48-8-244(d).

If you have any questions regarding the LMIG Program, please contact the Local Grants Office in Atlanta at (404) 347-0240 or email questions to [LocalGrantsProgram@dot.ga.gov](mailto:LocalGrantsProgram@dot.ga.gov).

Sincerely,

Bill Wright  
Local Grants Administrator

cc: The Honorable Carden Summers, Georgia State Senate  
The Honorable Bill Yearata, Georgia House of Representatives  
The Honorable Cathy Williams, State Transportation Board  
Scott Chambers, District Engineer  
Shannon Bradford, District State Aid Coordinator

## PROPOSED ROAD PROJECTS

COUNTY / CITY Lee County

ROAD NAME	BEGINNING	ENDING	LENGTH (Miles)	DESCRIPTION OF WORK	PROJECT COST	PROJECT SCHEDULE
Argyll Place	Margate Drive	Cul de Sac	0.06	Resurfacing	\$12,352.94	Begin January 2024
Aylesbury Place	Berkeley Road	Cul de Sac	0.06	Resurfacing	\$12,352.94	Begin January 2024
Berkeley Road	Cambridge Road	Cul de Sac	0.70	Resurfacing	\$144,117.65	Begin January 2024
Cambridge Road	Marlow Lane	Dougherty County Line	0.38	Resurfacing	\$78,235.29	Begin January 2024
Carillon Court	Springlake Drive	Cul de Sac	0.13	Resurfacing	\$45,567.01	Begin January 2024
Carowind Drive	Knollwood Drive	Kinchafoonee Creek Road	0.40	Resurfacing	\$95,833.33	Begin January 2024
Chokee Road	Dan Green Road	Sumter County Line	1.13	Resurfacing	\$259,693.73	Begin January 2024
Coosaw Court	Foxworth Drive	Cul de Sac	0.06	Resurfacing	\$14,375.00	Begin January 2024
Coston Road (dirt road)	Middle Road South	Philema Road South	0.74	Paving	\$925,000.00	Begin January 2024

Country Drive	Lovers Lane Road	End	0.36	Resurfacing	\$82,800.00	Begin January 2024
Creek Isle Drive	Graves Springs Road	Cul de Sac	0.33	Resurfacing	\$75,900.00	Begin January 2024
Creekshire Court	Carowind Drive	Cul de Sac	0.09	Resurfacing	\$21,562.50	Begin January 2024
Creekview Drive	Graves Springs Road	Cul de Sac	0.60	Resurfacing	\$138,000.00	Begin January 2024
Danbury Lane	Red Oak Court	West Doublegate Drive	0.48	Resurfacing	\$110,400.00	Begin January 2024
Doris Drive	Johns Drive	Cul de Sac	0.21	Resurfacing	\$50,000.00	Begin January 2024
Foxworth Drive	Knollwood Drive	End of Pavement	0.95	Resurfacing	\$227,604.16	Begin January 2024
Halifax Place	Cambridge Road	Cul de Sac	0.08	Resurfacing	\$16,470.59	Begin January 2024
Huntingdon Drive	Old Leesburg Road	Cul de Sac	0.56	Resurfacing	\$128,800.00	Begin January 2024
Johns Drive	Lovers Lane Road	Cul de Sac	0.27	Resurfacing	\$61,640.96	Begin January 2024
Knollwood Drive	Creekside Drive	Foxworth Drive	0.42	Resurfacing	\$100,625.00	Begin January 2024

Lavender Lane	Johns Drive	Cul de Sac	0.11	Resurfacing	\$25,021.78	Begin January 2024
Longleaf Drive	Wiregrass Way	End	0.96	Resurfacing	\$240,000.00	Begin January 2024
Margate Drive	Marlow Lane	Berkeley Road	0.26	Resurfacing	\$53,529.41	Begin January 2024
Marion Court	Midway Street	Cul de Sac	0.13	Resurfacing	\$30,000.00	Begin January 2024
Midway Street	Pineridge Drive	Leland Ferrell Drive	0.56	Resurfacing	\$158,000.00	Begin January 2024
Morning Mist Drive	Huntingdon Drive	Hedgerow Drive	0.25	Resurfacing	\$57,237.78	Begin January 2024
Muckalee Lane	Creekview Drive	Pineview Drive	0.20	Resurfacing	\$46,000.00	Begin January 2024
New York Road	Mossy Dell Road	Philema Road North	3.75	Resurfacing and Widening	\$1,275,000.00	Begin January 2024
Pebble Ridge Drive	Hickory Grove Road	Longleaf Drive	0.70	Resurfacing	\$170,000.00	Begin January 2024
Pineview Drive	Creekview Drive	Cul de Sac	0.22	Resurfacing	\$50,600.00	Begin January 2024
Pinewood Road	GA Hwy 32 W	Just Past Deer Run Lane	3.00	Resurfacing	\$685,231.13	Begin January 2024

Red Bay Court	Springlake Drive	Cul de Sac	0.07	Resurfacing	\$24,536.08	Begin January 2024
Springlake Drive	US Hwy 19 South	Cedric Street	0.68	Resurfacing	\$238,350.51	Begin January 2024
Towne Lane	Country Drive	Cul de Sac	0.10	Resurfacing	\$23,000.00	Begin January 2024
Victorian Court	Springlake Drive	Cul de Sac	0.09	Resurfacing	\$31,546.39	Begin January 2024
Village Lane	Country Drive	Cul de Sac	0.11	Resurfacing	\$25,300.00	Begin January 2024
Warrington Road	Marlow Lane	Berkeley Road	0.16	Resurfacing	\$32,941.18	Begin January 2024
Willard Court	Midway Street	Cul de Sac	0.18	Resurfacing	\$55,000.00	Begin January 2024
Wiregrass Way	Martindale Drive	Cul de Sac	1.78	Resurfacing	\$409,198.78	Begin January 2024
		<b><u>Estimated Total Mileage</u></b>	<b>21.32</b>	<b><u>Estimated Total Cost</u></b>	<b>\$6,231,824.14</b>	

			Estimated Mileage	Estimated Cost
	District 1	Commissioner Dennis Roland	4.88	\$1,534,693.73
	District 2	Vice-Chairman Luke Singletary	4.92	\$1,145,231.12
	District 3	Chairman Billy Mathis	5.62	\$1,279,598.78
	District 4	Commissioner Chris Guarnieri	3.24	\$905,700.51
	District 5	Commissioner George Walls	2.66	\$1,366,600.00

**Funds Available for Road Projects  
(as of July 31, 2023)**

TSPLOST Funds Available	3,297,251.09
SPLOST Funds available	2,526,232.00
LMIG 2024 (DOT Funds)	690,908.06
Total Funds Available for Roads	<u><u>6,514,391.15</u></u>

\*\* We are currently averaging \$326,000 per month in TSPLOST collections

STATE OF GEORGIA

COUNTY OF LEE

**AN ORDINANCE TO AMEND CHAPTER 70, ARTICLE III, SECTION 70-94 OF THE CODE OF ORDINANCES OF LEE COUNTY RELATING TO GREENSPACE, SO AS TO ESTABLISH THE PROCESS TO DETERMINE UNDEVELOPABLE LAND; TO PROVIDE THE APPLICABLE PROCESS TO DETERMINE THE AMOUNT OF BUILDABLE LAND FOR PURPOSES OF DETERMINING THE TOTAL AMOUNT OF ACREAGE TO BE SET ASIDE AS GREENSPACE; TO PROVIDE THE PERCENTAGE OF THE REMAINING DEVELOPABLE LAND TO BE PRESERVED AS GREENSPACE WHERE THE PROPOSED SUBDIVISION IS TO HAVE COUNTY-PROVIDED WATER AND SEWER SYSTEMS, WHERE THE PROPOSED SUBDIVISION IS TO HAVE WELLS AND SEPTIC TANKS, AND WHERE THE PROPOSED SUBDIVISION IS TO HAVE COUNTY-PROVIDED WATER AND SEPTIC TANKS; TO PROVIDE FOR THE CONVEYANCE OF GREENSPACE BY DEED TO LEE COUNTY, AN HOMEOWNER'S ASSOCIATION, OR A TRUST; TO PROVIDE FOR NOTICE TO BE INCLUDED IN THE DEED REGARDING THE REQUIREMENT FOR PERPETUAL MAINTENANCE AND PRESERVATION OF THE GREENSPACE; TO PROVIDE FOR AN EFFECTIVE DATE; TO PROVIDE FOR REPEAL OF CONFLICTING ORDINANCES; AND FOR OTHER PURPOSES**

---

BE IT ORDAINED that Chapter 70, Article III, Section 70-94 is hereby amended as provided below:

**Sec. 70-94. Use of Greenspace as Land Conservation.**

(a) In order to protect open greenspace and significant natural areas, including wetlands and other similar natural areas, and to reduce the cost of development of certain residential subdivisions, this Section of the County Code establishes density neutral development requirements by establishing the total number of units (lots) a specified amount of developable land will yield and by providing a process to determine the amount of greenspace conservation area ("greenspace") which shall be set aside as part of major subdivisions in the unincorporated area of Lee County. In order to accomplish this, , where the property is to be developed as a major subdivision as defined in the Lee County Code, the following shall be followed with respect to each proposed major subdivision:

(1) Determine all undevelopable land within the area of the proposed subdivision. For purposes of this Section, undevelopable land shall be defined and shall include: (i) steep slopes, storm water retention areas, ponds, lakes, and land that will not perk; (ii) wetlands and other similar natural areas that are unsuitable for development; and (iii) road

and street rights of way and storm water management ponds. The remaining land within the proposed major subdivision, after subtracting the undevelopable land, shall be deemed to be developable land for the purposes of this Ordinance.

(2) Then, out of the remaining developable land, the total number of dwelling units desired for the proposed subdivision shall be determined, provided that the maximum density allowed by the Lee County Code shall not be exceeded.

(3) Once the total amount, by acreage, of developable land has been determined, then the amount of greenspace, as defined in Section 38-287, in the proposed major subdivision shall be determined in accord with this subsection. In determining the amount of the developable land which shall be set aside as greenspace for the proposed subdivision, the following shall be applicable: (i) if there is to be a County-provided water system and a County-provided sewer system for the lots in the proposed subdivision, a minimum of twenty-five percent (25%) percent of the remaining developable land shall be preserved as greenspace; (ii) if there are to be wells and septic tanks for the lots in the proposed subdivision, then a minimum of ten percent (10%) of the remaining developable land shall be preserved as greenspace; and (iii) if there are to be water system and septic tanks for the lots in the proposed subdivision, then a minimum of ten percent (10%) of the remaining developable land shall be preserved as greenspace.

(b) Once potential greenspace areas are determined as provided in subsection (3) above, the next step is to locate potential for home sites on the remaining developable land.

(c) Once potential home sites are located on the remaining developable land, streets should be aligned with the proposed home sites and trails or walkways, separate from public roads, may also be used to connect the home sites to allow neighborhood connectivity.

(d) The final step is to draw in lot lines to establish the individual lots of the proposed subdivision. Such lots cannot include undevelopable land or land delineated as greenspace conservation areas.

(e) Unless the greenspace area is conveyed to and accepted by the county, a legal entity such as a homeowner's association, a trust, or another similar non-profit legal entity shall be established in accord with applicable Georgia law by either the owner of the land where the proposed subdivision is to be developed or by the developer of the land where the proposed subdivision is to be developed. A copy of a properly executed deed conveying the proposed greenspace to the county, the homeowner's association, the trust, or such other non-profit legal entity shall be submitted to the County at the time the application for final approval of the proposed subdivision is submitted to the County for approval. No final approval of any proposed major subdivision shall be approved unless a true and accurate copy of the properly executed deed conveying such greenspace as required by this subsection shall have been submitted to and approved by the County as part of the final subdivision approval process. Such homeowner's association, trust or other non-profit legal entity shall have perpetual existence and shall be responsible for the perpetual maintenance and preservation of the land



being preserved as greenspace. Whenever an adjacent subdivision development has already established and preserved greenspace, where feasible, such greenspace areas must be connected among the different subdivision developments in order to provide a connected greenspace "belt."

(f) The deed conveying the greenspace as required by subsection (e) above, and any other deed conveying the greenspace to a third party or other legal entity, shall include the following language printed in **BOLD** print as part of the deed:

**"The real property herein conveyed is conveyed to the Grantee herein solely for use as greenspace as part of the \_\_\_\_\_ residential subdivision, and such property shall be held, used, maintained, and preserved as greenspace as part of such subdivision in perpetuity as greenspace in accord with this Section 70-94 of the Lee County Code and in accord with the other provisions of the Lee County Code regarding greenspace."**

In the event that the property originally set aside and conveyed as greenspace as required by this Code Section is later conveyed to another homeowner's association, trust, or other non-profit legal entity, then the same notice that is to be included in accord with this subsection (f) as to the initial conveyance of the greenspace shall also be included in such subsequent conveyance or conveyances of the greenspace, and a true and accurate copy of each such subsequent conveyance of such greenspace shall, at the time each such subsequent conveyance is recorded in the Lee County deed records, shall also be filed with the Lee County Clerk.

(g) The requirements of subparagraph (a) of this section shall not be applicable in R-1L, R-3L, or when the governing body has required a minimum building lot size greater than allowed for the zoning density.

BE IT FURTHER ORDAINED that all ordinances or parts of ordinances in conflict herewith are hereby repealed.

BE IT FURTHER ORDAINED that this ordinance shall become effective upon the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

SO ORDAINED effective the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

**Board of Commissioners  
of Lee County, Georgia**

By: \_\_\_\_\_  
Billy Mathis, Chairman

Attest: \_\_\_\_\_  
Kaitlyn Good, County Clerk

ACTION TAKEN

FIRST READING: July 11, 2023

SECOND READING: \_\_\_\_\_

DATE OF ADOPTION: \_\_\_\_\_